

Building 4000 Floor 2

Site Plan

Scale: N.T.S.

PROJECT SITE

Carillon Point Building 4000

PCD APPROVED SITE PLAN
Any proposed changes to the approved site plan, such as but not limited to added hard surfaces, HVAC units, tree removals and accessory structures, must be submitted to the Building department as a revision to the building permit for review and approval by all departments prior to implementation.

All mechanical units shall comply with the maximum environmental noise levels established pursuant to the Noise Control Act of 1974, Revised Code of Washington (RCW) 70.107. See Chapter 173-60 Washington Administrative Code (WAC).

NOTICE

**HOURS OF WORK: 7AM TO 8PM MON-FRI
9AM TO 6PM SAT. NO WORK SUNDAYS &
HOLIDAYS (PER KZC SEC. 115.25)**
Exceptions must be approved in
writing by Planning Official

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Code Information:

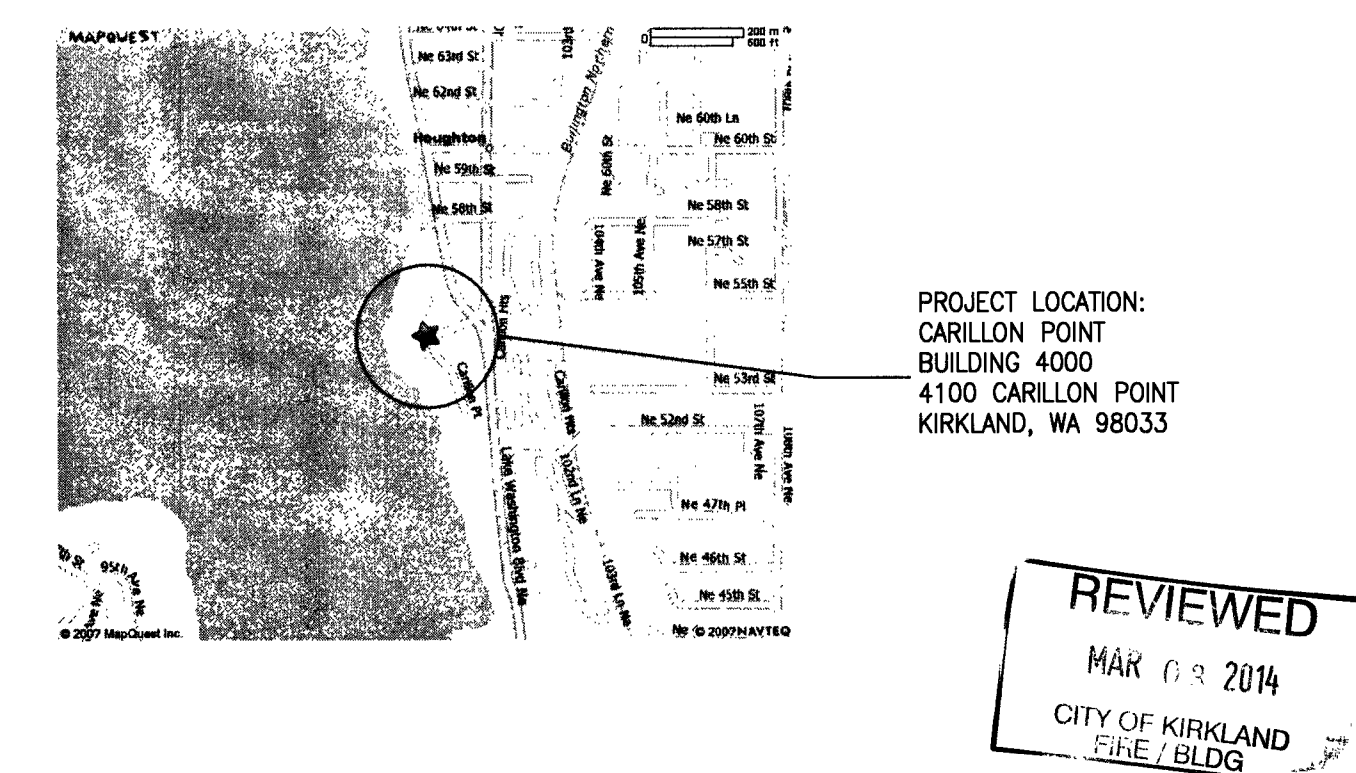
PROJECT ADDRESS: CARILLON POINT B4000 4100 CARILLON POINT FLOOR 2, SUITE 4250 KIRKLAND, WA 98033	APPLICABLE EDITIONS OF BUILDING CODES: BUILDING CODE 2012 INTERNATIONAL BLDG CODE (IBC), WAC 51-50 FIRE CODE 2012 INTERNATIONAL FIRE CODE (IFC), INCL. APPENDIX B&C
CONSTRUCTION TYPE: TYPE - 1A FULLY SPRINKLERED	ENERGY CODE 2012 WASHINGTON STATE ENERGY CODE (WSEC), WAC 51-11 MECHANICAL CODE 2012 INTERNATIONAL MECHANICAL CODE (IMC), WAC 51-52
ZONE: PLA-15A COMMERCIAL	ELECTRICAL CODE 2008 NATIONAL ELECTRICAL CODE (NEC) (NFPA 70) + PART 1 AND PART 3, 2009 WASHINGTON CITIES ELECTRICAL CODE WITH APPLICABLE RW 19.28 & WAC 296-46B
OCCUPANCY: B - BUSINESS	PLUMBING CODE 2012 UNIFORM PLUMBING CODE (UPC), WAC 51-56 & 51-57 INCL. APPENDIX CHAPTERS H & L - EXCL. SECTIONS L5-L7 & "LAWN SPRINKLER HEAD" FROM TABLE 6-4 OF APPENDIX L
TENANT SQUARE FOOTAGE: (area of work) 10,666 USF	ZONING CODE CITY OF KIRKLAND ZONING CODE ACCESSIBILITY CODE PER ICC A117.1-2009 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES

Legal Description:

TAX PARCEL #: 172505-9058

POR GL 1 & 2 & BLKS F & G OF THE 2ND SUPL PLAT OF LK WN SH LDS TGW 2ND CL SHLDS ADJ
ALL LY WLY OF W MGN LK WN BLVD- LESS POR N OF S LN OF 1076.80 LN SD GL 1 & ITS WLY
PROD - LESS POR THOF S LN OF LN BEG AT NXXN 1902.66 FT S & PLW N LN GL 1 & W MGN LK WN
BLVD TH S 03-09-13 E ALG W MGN 75 FT TO TPOB OF DESC LN TH N 88-35-53 W TO INNER
HARBOR LN & TERMINUS THIS LN - LESS POR CONV BY REC 8907281497 AKA LOT B KK ALT LL
#LL-91-50 REC 9104302101

Vicinity Map:



Project Team:

Property Manager:

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DESIGN	JPC
DRAWN	VA/CB
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NO.	13-0944



02.21.14 Permit/CD Issue

This image shows a single sheet of white paper with horizontal blue or grey ruling lines. The lines are evenly spaced and run across the width of the page. There are approximately 20 lines visible. The paper has a slightly textured appearance and some minor discoloration or shadows, suggesting it's a physical scan. There is no handwriting or other markings on the paper.

Cover Sheet & Site Plan

1-0.0

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Author: CHRISTINE BENDA
Date/Time: 2/20/2014 5:00 PM
Dwg: L:\2013\13-0944\DWG\WP\MASTER\COVER SHEET & SITE PLAN.DWG
Pen Table: IPC STD.CTB **X'Ref:** ATB.dwg,

Abbreviations:		General Notes:	
A/C ACT ALT. APPROX. BD BLDG BLK BLKG BOT B/S BU CAB CLC CLR COL CONC CONS CONT CORR CPT CT CTR DEMO DTL OF DA DIM DN DR DWG DRW E EA EL ELEC ELEV EQ EQUIP EST EXIST EXP FEC FF FH FN FLR FLUOR FOC FOS FOC FOF FT FUR GA GC GNB HC HCPD HDR HDWR HM HORIZ HR HT HVAC INSUL JAN JT KIT LAM LAV LH MAX MECH MTL MEZ MFR MIN MSC MTD MUL N NIC NTS OA OC OD OPNG P-LAM PNL PR PTN RAD RB RT REF REFR REINF REQ REV RH RM RO S SC SEAL SECT SMT SIM SPEC SQ SS STL STOR STRUC SUSP TEL TEMP TTT THK THRESH TV TYP UNFIN UNO VCT VEN VERT VESTI VFI VNC W W/ WO WT	AIR CONDITIONING ACOUSTICAL CEILING TILE ABOVE FINISH FLOOR ALTERNATE APPROXIMATE BOARD BUILDING BLOCK BLOCKING BOTTOM BUILDING STANDARD BUILT UP CABINET CEILING CLEAR(ANCE) COLUMN CONCRETE CONSTRUCTION CONTINUOUS CORRIDOR CARPET CERAMIC TILE CENTER DEMOLITION DETAIL DRAINING FOUNTAIN DIAMETER DIMENSION DOWN DOOR DRAWING DRAWER EAST EACH ELEVATION ELECTRICAL ELEVATOR EQUAL EQUIPMENT ESTIMATE EXISTING EXPANSION FIRE EXTINGUISHER CABINET FACTORY FINISH FULL HEIGHT FINISH(ED) FLOOR FLUORESCENT FURNISH BY OWNER FACE OF STUD(S) FACE OF CONCRETE FACE OF FINISH FOOT/FEET FURRED/FURRING GAUGE GENERAL CONTRACTOR GLASS/GLAZING GYPSUM WALL BOARD HOLLOW CORE HANDICAPPED HEADER HARDWARE HOLLOW METAL HORIZONTAL HOUR HEIGHT HEATING VENTILATING AIR CONDITIONING INSULATION JANITOR JOINT KITCHEN LAMINATE(D) LAVATORY LEFT HAND MAXIMUM MECHANICAL METAL MEZZANINE MANUFACTURE(R) MINIMUM MISCELLANEOUS MOUNTED MULLION NORTH NOT IN CONTRACT NOT TO SCALE OVERALL ON CENTER OUTSIDE DIAMETER OPPOSITE HAND OPENING PLASTIC LAMINATE PANEL PAIR PARTITION RADIUS RESILIENT BASE RESILIENT TILE REFERENCE REFRIGERATOR REINFORCING REQUIRED REVISION RIGHT HAND ROOM ROUGH OPENING SOUTH SOLID CORE SEALANT SECTION SHEET SIMILAR SPECIFICATION SQUARE STAINLESS STEEL STEEL STORAGE STRUCTURAL SUSPENDED TELEPHONE TEMPERED TENANT FURNISHED & TENANT INSTALLED THICK(NESS) THRESHOLD TELEVISION TYPICAL UNFINISHED UNLESS NOTED OTHERWISE VINYL COMPOSITION TILE VENEER VERTICAL VESTIBULE VERIFY VINYL WALL COVERING WEST/WIDE WITH WOOD WITHOUT WEIGHT	1. REFER TO BASIC BUILDING SPECIFICATIONS, REQUIREMENTS AND STANDARDS FOR EXISTING SHELL AND CORE CONSTRUCTION. ALL WORK IS TO BE COMPATIBLE WITH EXISTING CONSTRUCTION. 2. ALL WORK SHALL CONFORM TO APPLICABLE CURRENT FEDERAL, STATE AND LOCAL CODES. THE CONTRACTOR IS TO PROVIDE FOR ALL REQUIRED NOTIFICATION OF AND COORDINATION WITH CITY AND STATE AGENCIES, AND PROVIDE REQUIRED PERMITS. ALL TESTS AND INSPECTIONS ASSOCIATED WITH OBTAINING APPROVALS TO PROCEED WITH AND COMPLETE THE WORK SHALL BE PAID FOR BY THE CONTRACTOR. 3. THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL LABOR AND MATERIALS, EQUIPMENT AND TRANSPORTATION NECESSARY OR REASONABLY INFERABLE AS BEING NECESSARY FOR THE EXECUTION OF THE WORK. BY SUBMITTING A PROPOSAL, THE CONTRACTOR REPRESENTS THAT THOROUGH EXAMINATION OF THE SITE AND ALL EXISTING CONDITIONS AND LIMITATIONS HAVE BEEN MADE AND THAT THE CONTRACT DOCUMENTS HAVE BEEN EXAMINED IN COMPLETE DETAIL, AND THAT IT IS DETERMINED BEYOND DOUBT THAT THE DRAWINGS, SPECIFICATIONS AND EXISTING CONDITIONS ARE SUFFICIENT, ADEQUATE AND SATISFACTORY FOR CONSTRUCTION OF THE WORK. WHERE MINOR ADJUSTMENTS TO THE WORK ARE NECESSARY FOR THE PURPOSES OF FABRICATION AND INSTALLATION OF ITEMS, OR RESOLUTIONS OF CONFLICTS BETWEEN ITEMS, WITHIN THE INTENT OF THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL MAKE SUCH ADJUSTMENTS AT NO ADDED EXPENSE TO THE OWNER. WHERE SUCH MINOR ADJUSTMENTS AFFECT FUNCTIONAL OR AESTHETIC DESIGN OF THE WORK, THEY SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL. 4. THE CONTRACTOR SHALL COORDINATE ALL OPERATIONS WITH THE OWNER, INCLUDING AREA FOR WORK, MATERIALS STORAGE, AND ACCESS TO AND FROM THE WORK, SPECIAL CONDITIONS OR NOISY WORK, TIMING OF WORK AND INTERRUPTION OF MECHANICAL AND ELECTRICAL SERVICES. NOISY OR DISRUPTIVE WORK SHALL BE SCHEDULED AT LEAST ONE (1) WEEK IN ADVANCE OF THE TIME WORK IS TO COMMENCE. 5. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE HIGHEST STANDARD OF WORKMANSHIP IN GENERAL AND WITH SUCH STANDARDS AS ARE SPECIFIED. 6. CONTRACTOR SHALL ADHERE TO ALL BUILDING STANDARDS. ANY CHANGES TO SAME SHALL BE SUBMITTED TO ARCHITECT IN WRITING FOR APPROVAL. 7. CONTRACTOR SHALL SUBMIT SAMPLES OF ALL FINISHES OF SUCH SIZE AND NUMBER THAT THEY REPRESENT A REASONABLE DISTRIBUTION OF COLOR RANGES AND PATTERN PRIOR TO INSTALLATION FOR ARCHITECT'S APPROVAL. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS AND PRODUCT DATA FOR ARCHITECT'S APPROVAL ON ALL SPECIAL ITEMS REQUIRING CUSTOM FABRICATION. (SHALL INCLUDE RATED FIRE DOORS AND HARDWARE). 8. CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. CONTRACTOR IS NOT TO SCALE OFF DRAWINGS. 9. CONTRACTOR SHALL PROVIDE 18-GAUGE SHEET METAL BACKING IN PARTITIONS FOR ALL WALL-MOUNTED FIXTURES AND DEVICES UNLESS INDICATED OTHERWISE ON THE DRAWINGS. 10. ALL FLOORS SHOULD BE LEVEL AND NOT VARY MORE THAN 1/4" IN 10'-0". THE CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY CONDITIONS THAT DO NOT MEET THIS STANDARD. 11. ALL MATERIALS INDICATED TO MATCH EXISTING SHALL DO SO WITH RESPECT TO SIZE, SHAPE, COLOR, TEXTURE, PATTERN, QUALITY AND METHOD OF INSTALLATION INSOFAR AS PRACTICABLE AND SHALL BE APPROVED BY THE ARCHITECT BEFORE USE. 12. ALL FIREPROOFING DISTURBED DURING CONSTRUCTION SHALL BE REPLACED TO MATCH ORIGINAL FIRE PROTECTION LEVELS. (OBTAIN REQUIRED APPROVALS AND TESTING). 13. THE FLOORS MAY BE OCCUPIED DURING CONSTRUCTION. THE CONTRACTOR SHALL PROTECT ALL PERSONNEL, PASSERSBY OR VISITORS TO THE SITE FROM HARM AND INJURY. BARRIERS SHALL BE INSTALLED AS REQUIRED TO PROTECT EQUIPMENT INSTALLED DURING CONSTRUCTION. CAREFULLY MAINTAIN AND PROTECT MONUMENTS, BENCH MARKS AND THEIR REFERENCE POINT FROM BEING DESTROYED OR DISTURBED; REPLACE AS REQUIRED. 14. EXISTING WORK DAMAGED AS A RESULT OF WORK DONE UNDER THIS CONTRACT SHALL BE REPAIRED TO ORIGINAL CONDITION AND FINISHED TO MATCH ADJACENT FINISHES, SUBJECT TO ARCHITECT'S APPROVAL, AND AT NO ADDITIONAL COST TO OWNER. ALL REPLACEMENT MATERIALS REQUIRED TO MATCH EXISTING MATERIALS SHALL DO SO WITH RESPECT TO TYPE, PATTERN, TEXTURE, SIZE, SHAPE, COLOR AND METHOD OF INSTALLATION INSOFAR AS PRACTICABLE, AND SHALL BE APPROVED BY THE ARCHITECT AND OWNER PRIOR TO INSTALLATION. 15. ALL EXISTING MECHANICAL AND ELECTRICAL EQUIPMENT AND SERVICES DISRUPTED OR REMOVED DURING CONSTRUCTION SHALL BE RESTORED AND REPLACED UNLESS NOTED OTHERWISE. FIRE/LIFE SAFETY SYSTEMS TO BE MAINTAINED DURING CONSTRUCTION. 16. INSTALLATION OF MECHANICAL, ELECTRICAL AND STRUCTURAL SYSTEMS WILL REQUIRE OPENING OF SOME EXISTING WALLS, CEILINGS OR FLOOR CAVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF THESE OPENINGS TO MATCH EXISTING, EXCEPT WHERE NOTED OTHERWISE. FILL ALL HOLES AND VOIDS IN FLOORS, WALLS AND CEILINGS WHICH RESULT FROM INSTALLATION OF WORK, AND REMOVAL OF EXISTING MATERIALS AND EQUIPMENT REQUIRED BY THIS CONTRACT. PATCHED AREAS SHALL MATCH THE MATERIALS, FINISHES, AND LEVELS ADJACENT, OR SHALL BE PUT IN THE PROPER CONDITION TO RECEIVE THE FINISH INDICATED. 17. OPENINGS REQUIRED FOR NEW WORK THAT PENETRATES EXISTING STRUCTURE SHALL BE COORDINATED WITH OWNER PRIOR TO COMMENCING THE WORK. ANY OPENING OVER 2" IN DIAMETER SHALL BE REVIEWED AND APPROVED BY OWNER. THROUGH CONCRETE SLABS OR WALLS, OR MASONRY WALLS, ALL ROUND HOLES SHALL BE CORE DRILLED WITH A DIAMOND DRILL AND ALL RECTANGULAR OPENINGS SHALL BE CUT WITH A DIAMOND SAW. IN NO CASE SHALL ANY STRUCTURAL MEMBER BE CUT. USE CARBIDE-TIPPED DRILLS FOR GYPSUM WALLBOARD PARTITIONS. KEEP OVERCUTTING TO A MINIMUM. MAINTAIN CONTINUITY AND INTEGRITY OF FIRE SEPARATION AT ALL TIMES. GROUT AROUND CONDUITS PASSING THROUGH CONCRETE WALLS AND FLOORS AND MASONRY WALLS. MAKE PATCHES WITH NEAT, TRIMMED EDGES; MATCH ADJACENT EXISTING WORK. 18. CONTRACTOR SHALL PROVIDE FLOOR LEVELING AS MAY BE REQUIRED AT SLIDING DOORS, RELITES WITHOUT BASE, CABINET WORK, AND OTHER LOCATIONS REQUIRING LEVEL SUBSTRATE. FEATHER CHANGES IN ELEVATION OVER SUFFICIENT AREA TO LIMIT TRANSITION SLOPE TO 1/8" PER FOOT. 19. MATERIALS, ARTICLES, DEVICES AND PRODUCTS ARE SPECIFIED IN THE DOCUMENTS BY LISTING ACCEPTABLE MANUFACTURERS OR PRODUCTS, BY REQUIRING COMPLIANCE WITH REFERENCED STANDARDS, OR BY PERFORMANCE SPECIFICATIONS. FOR ITEMS SPECIFIED BY NAME, SELECT ANY PRODUCT NAMED. FOR THOSE SPECIFIED BY REFERENCE STANDARDS OR BY PERFORMANCE SPECIFICATIONS SELECT ANY PRODUCT MEETING OR EXCEEDING SPECIFIED CRITERIA. FOR APPROVAL OF AN ITEM NOT SPECIFIED, SUBMIT REQUIRED SUBMITTALS, PROVIDING COMPLETE BACK-UP INFORMATION FOR PURPOSES OF EVALUATION. WHERE BUILDING STANDARD ITEMS ARE CALLED FOR, NO SUBSTITUTE WILL BE ACCEPTED. 20. CONTRACTOR SHALL PROVIDE FOR ALL WORK REQUIRED TO MAINTAIN COMPLIANCE WITH LOCAL FIRE CODE. PROVIDE FOR ALL REQUIRED SHOP DRAWINGS AND APPROVALS. CONTRACTOR IS RESPONSIBLE FOR PROVIDING FIRE ALARM SYSTEM AUDIBILITY. 21. MECHANICAL AND ELECTRICAL FIXTURES, OUTLETS, ETC. WHEN SHOWN ON THE ARCHITECTURAL DRAWINGS, ARE FOR LOCATION INFORMATION ONLY. MECHANICAL AND ELECTRICAL TO BE DESIGNED BY OTHERS. ALL CIRCUITING COORDINATION TO BE BY OTHERS. 22. CONTRACTOR IS TO PROVIDE DRAWINGS FOR ARCHITECT'S APPROVAL SHOWING LOCATIONS OF ALL HVAC THERMOSTATS, GRILLES AND DIFFUSERS, FIRE AND SMOKE DETECTION DEVICES INCLUDING SPRINKLERS, SMOKE DETECTORS, FIRE EXTINGUISHERS AND HOSE CABINETS, PLUMBING AND PLUMBING EQUIPMENT. 23. ANY CHANGE IN LIGHT FIXTURE PLACEMENT DUE TO INTERFERENCE OF MECHANICAL OR STRUCTURAL COMPONENTS MUST BE APPROVED BY THE ARCHITECT. 24. ALL PERMITS INCLUDING FIRE, MECHANICAL, AND ELECTRICAL TO BE FILED SEPARATELY.	25. ALL GYPSUM BOARD PARTITIONS SHALL BE TAPED, SPACKLED AND SANDED SMOOTH WITH NO VISIBLE JOINTS. PATCH AND REPAIR SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES WHERE REQUIRED. ALL SURFACES SHALL BE ALIGNED. 26. MODIFY EXISTING SUBSTRATE AS REQUIRED TO RECEIVE NEW FLOORING MATERIALS, THUS PREVENTING NOTICEABLE LUMPS OR DEPRESSIONS. 27. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE. 28. REFER TO MILLWORK SHOP DRAWINGS FOR SPECIFIC DETAILS OF COORDINATION BETWEEN DRYWALL/MILLWORK CONDITIONS. 29. ALL GLASS SHALL BE CLEAR TEMPERED GLASS, UNLESS OTHERWISE NOTED. GLAZING TONG MARKS SHALL NOT BE VISIBLE. CLEAN AND POLISH ALL GLASS PRIOR TO PROJECT DELIVERY. 30. ALL MILLWORK TO BE FASTENED TO THE PARTITION. PROVIDE NON-COMBUSTIBLE BLOCKING FOR ALL MILLWORK NOT SUPPORTED BY FLOOR OR ABOVE 4'-0" HT. ALL CONCEALED LUMBER & BLOCKING TO BE FIRE TREATED. 31. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR: HVAC, CARPET SEAMING, LIGHTING, CASEWORK. 32. MOISTURE TEST - REQUIRED FOR ALL ON GRADE SLAB CONDITIONS DURING THE CONSTRUCTION ESTIMATING/BUDGETING PROCESS THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING FROM THE BUILDING OWNER DOCUMENTATION AS TO THE VAPOR EMISSIONS RATE (MOISTURE TEST) FOR ALL "ON GRADE SLAB CONDITIONS". THIS INFORMATION SHOULD THEN BE IMMEDIATELY SHARED BETWEEN THE ARCHITECT, THE ARCHITECTS' SELECTED FLOORING REPRESENTATIVE(S), AND FLOORING SUB-CONTRACTOR FOR REVIEW AND APPROVAL OF APPLICABLE MATERIALS AND ANCILLARY INSTALLATION/FINISH PRODUCTS. IF NO MOISTURE TEST CAN BE FURNISHED OR IF FINDING ARE IN QUESTION THE GENERAL CONTRACTOR SHALL PERFORM THE FOLLOWING TESTS: A. PROVIDE (3) CALCIUM CHLORIDE MOISTURE TESTS FOR THE FIRST THOUSAND SQUARE FEET AND (1) TEST FOR EVERY ONE THOUSAND SQUARE FEET THEREAFTER AT ALL FLOORS WITHIN SCOPE OF WORK. THE CALCIUM CHLORIDE TEST SHALL BE CONDUCTED IN ACCORDANCE WITH THE LATEST EDITION OF ASTM F 1869 "STANDARD TEST METHOD" FOR MEASURING VAPOR EMISSIONS RATE OF CONCRETE SUN-FLOOR USING ANHYDROUS CALCIUM CHLORIDE. PROVIDE A WRITTEN REPORT OF FINDINGS TO THE ARCHITECT AS NOTED



REVIEWED
MAR 13 2014
CITY OF KIRKLAND
FIRE / BLDG

JPC
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AN
13-0944

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Exit Plan and Codes Summary

I-CS.2

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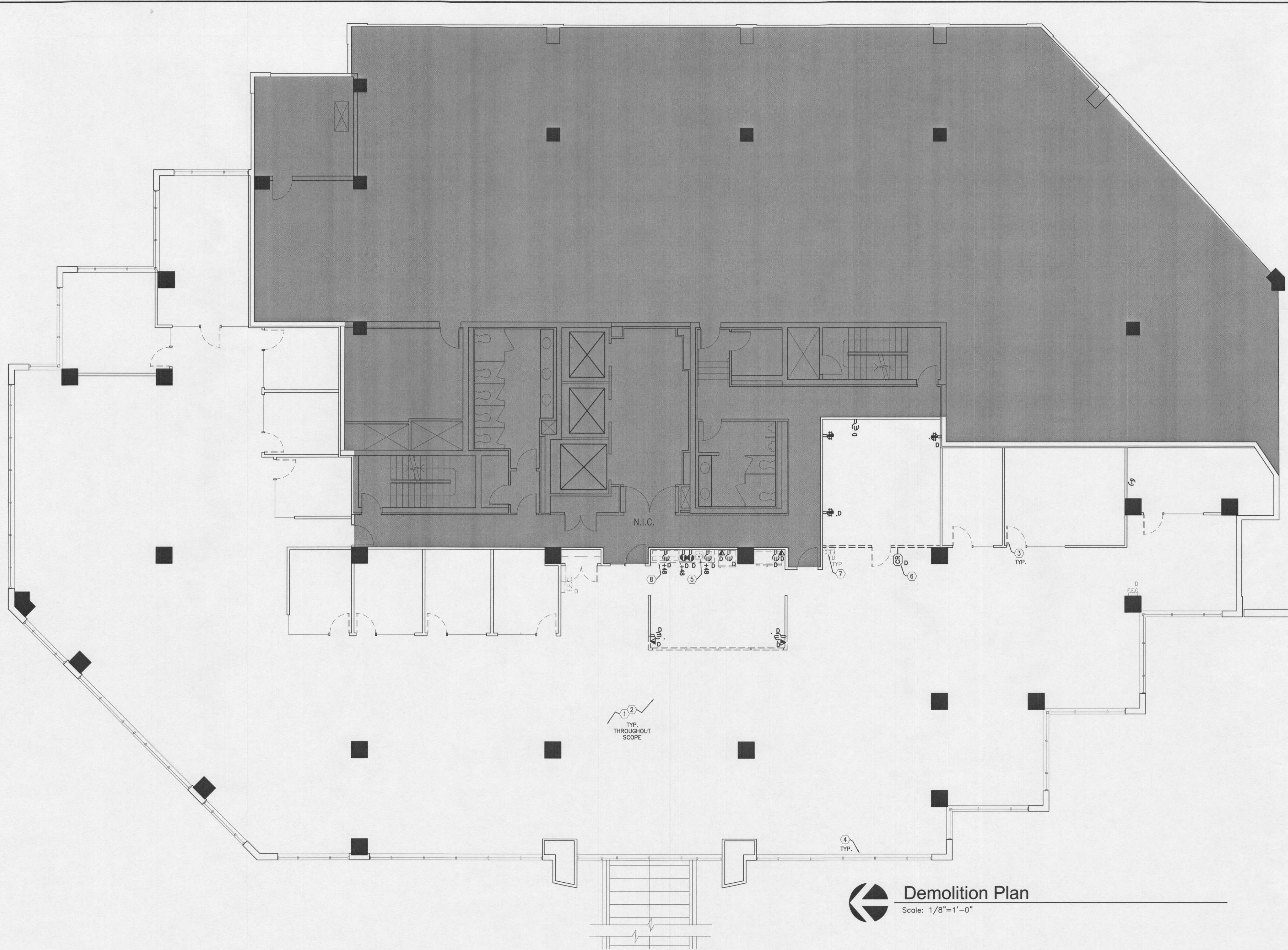
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Kirkland, WA 98033

1"=1'-0"

Author: CHRISTINE BENDA
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XRef: 11/2013/13-0944/000/WP/MASTER/1-12 DEMOLITION PLAN.DWG



Demolition Plan

Scale: 1/8"=1'-0"

Demolition Plan Key Notes:

- EXISTING FINISH FLOORING TO BE DEMOLISHED THROUGHOUT SUITE. PATCH AND REPAIR AFFECTED SUBSTRATE AS REQ. FOR INSTALLATION OF NEW FLOORING AND BASE MATERIALS.
- DEMOLISH ELECTRICAL, LOW VOLTAGE AND LIFE SAFETY EQUIPMENT/DEVICES (INCLUDING LOW VOLTAGE CABLING) AS REQUIRED DUE TO DEMOLITION. AT LOCATIONS WHERE ELECTRICAL IS TO BE REMOVED, TERMINATE WIRING BACK TO PANEL. RECONFIGURE AND RELOCATE EXISTING POWER WHERE PRACTICAL DUE TO NEW POWER LOCATIONS. REFER TO FLOOR PLAN.
- DEMOLISH DOORS AND FRAMES AT ALL EXISTING-TO-REMAIN LOCATIONS-RELIGHTS TO REMAIN, SALVAGE DOOR HARDWARE FOR REUSE AND REINSTALLATION. REFER TO FLOOR PLAN FOR ADDITIONAL INFORMATION.
- ROLL-UP, BAG AND PROTECT EXISTING EXTERIOR HORIZONTAL MINI-BLINDS. REPAIR AND/OR PROVIDE NEW WHERE FOUND MISSING OR DAMAGED.
- DEMOLISH AND DISPOSE OF EXISTING PLUMBING/FIXTURES. TERMINATE AND CAP ALL EXISTING SUPPLY/WASTE LINES BEHIND WALL AND/OR FLOOR. PATCH AND REPAIR AFFECTED AREAS, INCLUDING BUT NOT LIMITED TO WALLS, FLOORS AND CEILINGS AS REQUIRED. MATCHING EXISTING FINISH MATERIALS, UNO.
- REMOVE EXISTING B/S CARD READER AND SALVAGE FOR REINSTALLATION. REFER TO FLOOR PLAN FOR NEW CARD READER LOCATIONS.
- REMOVE AND SALVAGE EXISTING RECESSED FEC AND REINSTALL AT NEW LOCATION PER FLOOR PLAN.
- DEMOLISH EXISTING COUNTERTOP AND CABINETS. PATCH AND REPAIR WALLS TO MATCH ADJACENT PARTITION FINISH.

Demolition Notes:

- OBTAIN DEMOLITION PERMITS AND INCLUDE ALL COSTS OF SAME IN CONTRACT PRICE.
- FURNISH ALL LABOR AND MATERIALS/EQUIPMENT TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED.
- CONTRACTOR SHALL KEEP CONSTRUCTION AREA FREE OF DUST AND DEBRIS FOR THE DURATION OF CONSTRUCTION.
- IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH THE ARCHITECT BEFORE PROCEEDING.
- AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREA(S) SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED.
- ALL DEBRIS REMOVAL SHALL BE PERFORMED IN ACCORDANCE WITH BUILDING MANAGEMENT REQUIREMENTS AND PROCEDURES.
- AS DIRECTED BY BUILDING MANAGEMENT, ALL DOORS, FRAMES, HARDWARE, MECHANICAL ITEMS, PLUMBING FIXTURES, LIGHT FIXTURES (INCLUDING DOWNLIGHTS AND FLUORESCENTS), AND SPECIAL EQUIPMENT SHOWN TO BE REMOVED, SHALL BE CLEAN AND FREE OF DEFECTS, PROTECTED, SAVED AND REUSED AS DIRECTED HEREIN, OR RETURNED TO BUILDING STOCK.
- IN PARTITIONS TO BE REMOVED, REMOVE AND CAP ALL OUTLETS, SWITCHES, WIRES, THERMOSTATS, ETC., TO THEIR SOURCE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED BY HIM OR HIS SUBCONTRACTORS TO EXISTING CONSTRUCTION IN ELEVATOR LOBBY, PUBLIC CORRIDORS, RESTROOMS OR TENANT SPACES. REFINISH TO MATCH EXISTING ADJACENT FINISH, OR AS NOTED HEREIN.
- NO EXISTING SMOKE DETECTOR, PUBLIC ADDRESS SPEAKER, FIRE ALARM BOX OR SIMILAR DEVICE, INCLUDING THE ASSOCIATED WIRING SHALL BE DAMAGED DURING DEMOLITION AND SUBSEQUENT CONSTRUCTION. RELOCATION OF SMOKE DETECTORS, PUBLIC ADDRESS SPEAKERS AND FIRE ALARM EQUIPMENT, NECESSITATED BY NEW CONSTRUCTION, SHALL BE ACCOMPLISHED AS A FIRST PRIORITY, AND PER THE PLANS. NO ACTIVE SMOKE DETECTOR SHALL BE COVERED OR OTHERWISE REMOVED OR USED FOR OTHER THAN ITS INTENDED PURPOSE.
- REMOVAL OF ANY EQUIPMENT, CABLING SWITCHES, AND CONDUIT PERTAINING TO DATA/COMMUNICATIONS AND TELEPHONE SHALL BE VERIFIED WITH TELEPHONE COMPANIES AND TENANT.
- REMOVE ALL EXISTING MATERIALS WHICH WOULD CAUSE RISES OR DEPRESSIONS IN NEW FLOORING SURFACE, SUCH AS FASTENERS, OUTLET CORES, COVER PLATES, RESILIENT FLOOR COVERINGS, CARPET, CARPET PAD, FLASH PATCH, CONCRETE FILL, PLYWOOD, ETC.
- DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DRAWINGS.
- RATED WALLS SHALL NOT BE PENETRATED UNLESS THE RATING IS MAINTAINED.
- DISPOSAL: ALL DEBRIS REMOVED FROM THE SITE SHALL BE RECYCLED AS MUCH AS PRACTICAL AND ALLOWED BY LAW.

Symbols Legend:

- F.E.C. - BUILDING STANDARD FIRE EXTINGUISHER CABINET
- DUPLEX RECEPTACLE
 - DEDICATED DUPLEX RECEPTACLE
 - GFI DUPLEX RECEPTACLE
 - FOURPLEX RECEPTACLE
 - DEDICATED FOURPLEX RECEPTACLE
 - J-BOX FOR TENANT PROVIDED SYSTEMS FURNITURE.
 - VOICE/DATA RECEPTACLE. CONTRACTOR TO PROVIDE MUD RING AND PULL STRING
 - PROXIMITY CARD READER

NO DESIGNATION = EXISTING
D = DEMOLISH

Partition Legend:

- EXISTING PARTITION/CONSTRUCTION TO REMAIN
- EXISTING PARTITION TO BE REMOVED

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DESIGN JPC
DRAWN VA/CB
CHECKED AN
NO. 13-0944

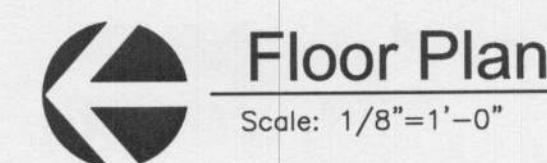


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Demolition Plan

I-1.2



AT LOCATIONS REQUIRED FOR ARCHITECTURAL FEATURES AND/OR "IN-WALL" ELECTRICAL/MECHANICAL/PLUMBING SYSTEMS, PROVIDE APPROPRIATE METAL STUD WIDTH TO ACCOMMODATE SIZING REQUIREMENT. CONFORM TO SPECIFIED METAL GAUGE AND SPACING AS INDICATED BY WALL TYPE. REFER TO CONSTRUCTION LEGEND FOR ADDITIONAL INFORMATION.

BUILDING STANDARD FIRE EXTINGUISHER CABINET

REVISED
 MAR 0
 CITY OF
 FIRE

DUPLEX RECEPTACLE
 DEDICATED DUPLEX RECEPTACLE
 GFI DUPLEX RECEPTACLE
 FOURPLEX RECEPTACLE
 DEDICATED FOURPLEX RECEPTACLE
 CORE DRILL
 J-BOX FOR TENANT PROVIDED SYSTEMS FURNITURE.
 VOICE/DATA RECEPTACLE. CONTRACTOR TO PROVIDE MUD RING AND PULL STRING
 PROXIMITY CARD READER
 WALL TAG

NO DESIGNATION = EXISTING
 N = NEW
 R = RELOCATED (COORDINATE WITH ARCHITECT)

REVIEWED
MAR 03 2014
CITY OF KIRKLAND
FIRE BLDG

1-3.2



Scale: $1/8"=1'-0"$

6283 REGISTERED ARCHITECT
Charlotte Patterson
STATE OF WASHINGTON

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[illegible]

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4100 Carillon Pt.
Kirkland, WA 98033







DESIGN	JPC
DRAWN	VA/CB
CHECKED	AN
NO.	13-0944

Key Notes:

- ① EXISTING FLUORESCENT LIGHT FIXTURES TO BE RELOCATED DUE TO DEMOLITION AND REVISED LAYOUT – REFER TO RCP FOR NEW LOCATIONS.

BID ALTERNATE: DEMOLISH ALL EXISTING FLUORESCENT PARABOLIC TROFFERS – TO BE REPLACED WITH NEW BUILDING STANDARD FLUORESCENT FIXTURES. REFER TO REFLECTED CEILING PLAN FOR ADDITIONAL INFORMATION.
- ② DEMOLISH EXISTING LIGHT SWITCHES AS REQUIRED DUE TO DEMOLITION. REFER TO REFLECTED CEILING PLAN FOR NEW SWITCH LOCATIONS.
- ③ EXISTING BUILDING STANDARD SUSPENDED CEILING GRID AND ACOUSTICAL TILE SYSTEM TO REMAIN. REPLACE ALL DAMAGED AND/OR STAINED TILE.
- ④ CONTRACTOR TO VERIFY CODE COMPLIANCE OF ALL EXISTING ACOUSTICAL CEILING GRID SYSTEMS & LIGHTING FIXTURES AND ASSOCIATED BRACING RESTRAINTS. SYSTEMS FOUND NOT IN COMPLIANCE SHALL BE MODIFIED AND/OR NEW PROVIDED, AS REQUIRED BY CURRENT BUILDING CODES. REFER TO DETAILS 13 – 16/1-9.1.
- ⑤ DEMOLISH ALL NON-BLUG-BUILDING EMERGENCY EGRESS LIGHTING WITH NEW BUILDING STANDARD BUG EYES.

Symbols Legend

TYPE	SYMBOL	MFG.	DESCRIPTION
	\$		SWITCH
	\$3		3WAY SWITCH
			BLDG STD EXIT LIGHT
			EXTG BLDG STD 2x4 SUSP. CEILING GRID & TILE
			EXISTING BLDG STD 2x4 FL LIGHT FIXTURE: LUNA #FLU24B 2-T8 WW LAMPS
			EXISTING BLDG STD 2x2 FL LIGHT FIXTURE: LUNA #FLU22B 2-T8 WW LAMPS
			EXISTING FLUORESCENT 2X4 PARABOLIC FIXTURES
			EXISTING FLUORESCENT 2X2 PARABOLIC FIXTURES

NO DESIGNATION = EXISTING
D = DEMOLISH



Reflected Ceiling Notes:













- | | | | | | |
|----|---|-----|---|-----|---|
| 1. | COORDINATE THE WORK OF ALL TRADES INVOLVED IN THE CEILING WORK TO ENSURE CLEARANCES FOR FIXTURES, DUCTS, PIPING, CEILING SUSPENSION SYSTEM, ETC., NECESSARY TO MAINTAIN THE FINISHED CEILING HEIGHTS INDICATED ON ARCHITECT'S DRAWINGS. | 7. | THE REFLECTED CEILING PLAN INDICATES THE LOCATION OF CEILING HEIGHTS, LIGHT TYPES, LIGHT FIXTURES, AND ASSOCIATED ITEMS. | 12. | INSTALL NEW LIGHT FIXTURES WITH PROTECTIVE FILM OR SIMILAR COVER OVER LOUVER, LENS, BAFFLE, ETC. TO AVOID FIXTURE SLOWING OR DAMAGE. FIXTURES SHALL BE MAINTAINED CLEAN AND AS NEW. ALL LAMPS SHALL BE NEW AT PROJECT COMPLETION - RELAMP EXISTING FIXTURES. |
| 2. | PERIMETER CEILING ANGLE, WHERE OCCURS, SHALL BE INSTALLED TIGHT TO VERTICAL SURFACES, FREE FROM CURVES, BREAKS OR OTHER IRREGULARITIES AND PAINTED TO MATCH CEILING FINISH. | 8. | ALL SPECIFIC INFORMATION CONCERNING INSTALLATION FOR VARIOUS ABOVE-CEILING ELEMENTS ARE TO BE DESIGN BUILD, DOCUMENTATION BY OTHERS - PERMITTED SEPARATELY. | 13. | CONTRACTOR TO VERIFY CODE COMPLIANCE OF EXISTING ACOUSTICAL CEILING GRID SYSTEMS AND ASSOCIATED SEISMIC BRACING RESTRAINTS. SYSTEMS FOUND NOT IN COMPLIANCE SHALL BE MODIFIED AND/OR NEW PROVIDED AS REQUIRED BY CURRENT BUILDING CODES (INCLUDING, BUT NOT LIMITED TO; CURRENT IBC WALL MOLDING (2" ANGLE) AND SEISMIC SEPARATION JOINTS). |
| 3. | FURNISH AND INSTALL ALL ASSOCIATED TRIM AND SEISMIC BRACING AS REQUIRED. | 9. | NOTIFY ARCHITECT OF ANY CONFLICTS OF LIGHT FIXTURE LOCATIONS WITH MAIN RUNNERS, DUCTS, STRUCTURES, HVAC, AND/OR (E)CONDUIT, PRIOR TO FRAMING FOR LIGHTS. ANY DISCREPANCIES BETWEEN ARCHITECT'S CEILING GRID LOCATION & ACTUAL FIELD CONDITIONS ARE TO BE CLARIFIED WITH THE ARCHITECT PRIOR TO FRAMING. | 14. | CONTRACTOR TO VERIFY CODE COMPLIANCE OF ALL EXISTING LIGHTING FIXTURES AND ASSOCIATED SEISMIC BRACING RESTRAINTS. FIXTURES FOUND NOT IN COMPLIANCE SHALL BE MODIFIED AND/OR NEW PROVIDED AS REQUIRED BY CURRENT BUILDING AND/OR ENERGY COMPLIANCE CODES. |
| 4. | LIGHT FIXTURES, NEW SPRINKLERS AND OTHER CEILING ELEMENTS SHALL BE CENTERED IN THE 2'X2' SECTION OF INDIVIDUAL CEILING TILES U.N.O. (EXIST. SPRINKLERS TO REMAIN UNLESS CONFLICT WITH NEW ELEMENTS). | 10. | SUBMIT GRILLE, THERMOSTAT, AND OTHER FIXTURE AND ELEMENT LAYOUTS TO THE ARCHITECT FOR REVIEW AT LEAST 2 WEEKS PRIOR TO INSTALLATION. | 15. | ALL EXISTING LIGHTS AND EGRESS LIGHTING LOCATIONS SHALL BE DETERMINED BY BUILDING AND FIRE INSPECTOR'S FIELD PLACEMENT DETERMINATION. |
| 5. | PROVIDE CEILING ACCESS AS REQUIRED FOR EQUIPMENT AND SYSTEM MAINTENANCE, AND MATCH ADJACENT CEILING FINISH U.N.O. | 11. | VERIFY FIELD CONDITIONS AND LOCATIONS OF ALL PLUMBING, MECHANICAL DUCTS, STRUCTURAL ELEMENTS AND ALL OTHER RELATED ITEMS. INSTALL NEW PLUMBING, MECHANICAL, FANS, DUCTS, CONDUITS, AND OTHER RELATED ITEMS SO AS TO NOT CONFLICT WITH ANY/ALL FIELD CONDITIONS INCLUDING LUMINAIRES. | | |
| 6. | ALL SOFFITS AND CEILING HEIGHTS ARE DIMENSIONED FROM TOP OF FINISHED FLOOR TO BOTTOM OF FINISHED GYPSUM BOARD OR CEILING TILE AND SHALL ALLOW FOR THICKNESS OF ALL FLOOR FINISHES. | | | | |

16. ALL SMOKE DAMPERS SHALL BE INSTALLED IN ACCORDANCE WITH IMC/IBC OR SUPERCEDING CODE. ALL FIRE DAMPERS SHALL BE INSTALLED IN ACCORDANCE WITH IMC/IBC OR SUPERCEDING CODE.
17. EGRESS LIGHTING SHALL BE DESIGNED BY A LICENSED ELECTRICAL ENGINEER BASED ON FINAL FLOOR PLAN(S) AND THE MOST CURRENT (IN FORCE) ISSUE OF THE IBC, IEC AND LOCAL CODES/ORDINANCES. THE ENGINEER MAY USE THE ARCHITECTS EGRESS MAPS (COMMON PATH OF TRAVEL/EXIT TRAVEL DISTANCE) AS STARTING POINT FOR A BASIS OF DESIGN. HOWEVER, IT SHALL REMAIN THE SOLE RESPONSIBILITY OF THE ENGINEER TO COMPLETE A SCOPE OF WORK THAT ADDRESSES ALL EGRESS LIGHTING I.E.; ROOMS, SPECIALIZED SPACE PATHWAYS, ETC. PER THE AFREMENTIONED CODES. FINAL EGRESS LIGHTING QUANTITIES AND LOCATIONS SHALL BE DETERMINED BY BUILDING AND FIRE INSPECTOR'S FIELD PLACEMENT DETERMINATION.

Reflected Ceiling Plan Key Notes:

- 1) MODIFY EXISTING ELECTRICAL, MECHANICAL AND LIFE SAFETY SYSTEMS AS REQUIRED BY SCOPE OF NEW WORK, MOST CURRENT ISSUE OF APPLICABLE BUILDING CODES AND DESIGN/CONSTRUCTION STANDARDS FOR CARILLON POINT #4000 INCLUDING, BUT NOT LIMITED TO CIRCUITING, SWITCHING, DUCTING (SUPPLIES/RETURNS), BALANCING, SPRINKLER HEAD AND/OR HORN/STROBE LOCATION. NOTE: IT IS THE ARCHITECT'S INTENT THAT THE PHYSICAL CEILING SYSTEMS BE INVESTIGATED PRIOR TO BID SUBMISSION AND THAT SAID SUBMISSION SHALL CONSTITUTE ACCEPTANCE OF THE TERMS REFERENCED ABOVE WITHOUT ADDITIONAL PROJECT AND/OR TENANT COSTS. ALL ABOVE-CEILING EQUIPMENT/DEVICES THAT REQUIRE "ACCESSIBILITY" OR ARE IN DIRECT CONFLICT WITH THE ARCHITECT'S DESIRED DESIGN INTENT (ARCHITECTURAL CEILING DESIGN, LIGHTING PLACEMENT, ETC.) SHALL BE REMOVED AND RELOCATED. IF REMOVAL AND/OR RELOCATION IS REQUIRED, THE ARCHITECTOR OR THE OWNER'S DESIGNER SHALL BE NOTIFIED. A LETTER SHALL BE SUBMITTED BY EACH TRADE TO THE ARCHITECT FOR REVIEW/APPROVAL PRIOR TO COMPLETION OF DESIGN-BUILD DOCUMENTS AND COMMENCEMENT OF CONSTRUCTION-RELATED ACTIVITIES.
 - 2) PROVIDE POWER & DATA/AV, AS DIRECTED BY TENANT'S A/V VENDOR, IN CEILING FOR CEILING-MOUNTED PROJECTOR AND ELECTRONIC RECESSED PROJECTOR SCREEN (VERIFY EXACT LOCATIONS AND SPECIFICATIONS WITH AV CONSULTANT). PROVIDE 1-1/2" CONDUIT BETWEEN TABLE AND CEILING-MOUNTED PROJECTOR.
 - 3) REPLACE ALL NON-BLOND STANDARD EGRESS LIGHTING WITH NEW BUILDING STANDARD BUG EYES.
 - 4) RELOCATE EXISTING TROFFERS AS REQUIRED DUE TO REVISED LAYOUT. EXISTING PARABOLIC FIXTURES THAT ARE (2) FIXTURES FROM EXTERIOR WINDOWS TO REMAIN-RELOCATE AS NECESSARY DUE TO REVISED LAYOUT - REFER TO RCP FOR REVISED LOCATIONS.
- BID ALTERNATE: REMOVE ALL EXISTING FLUORESCENT PARABOLIC FIXTURES AND REPLACE WITH NEW BUILDING STANDARD FLUORESCENT FIXTURES. COORDINATE WITH PROPERTY MANAGER TO REINSTALL SCALED BUILDING STANDARD FIXTURES FROM T.I. WORK OCCURRING IN BS000 / FLOOR 2
- 5) PROVIDE AND INSTALL NEW PENDANT FIXTURES (F-7") IN BISTRO 206. EXACT LOCATION TO BE FIELD DETERMINED.
 - 6) ILLUMINATED EXIT LIGHT, ALL EXIT LIGHTS AND EGRESS LIGHTING LOCATIONS SHALL BE DETERMINED BY BUILDING AND FIRE INSPECTOR'S FIELD PLACEMENT DETERMINATION.

Symbols Legend

TYPE	SYMBOL	MFG.	DESCRIPTION
	\$		SWITCH
	\$3		3WAY SWITCH
			BLDG STD EXIT LIGHT
			EXTG BLDG STD 2x2 SUSP. CEILING GRID & TILE
			EXTG BLDG STD 2x2 SUSP. CEILING GRID & TILE
			NEW GWB SOFFIT
F-1		FOCAL POINT	BLDG STD 2x4 FLU. LIGHT FIXTURE: LUNA #FLU24B-WH 2-TB WW LAMPS
F-2		FOCAL POINT	BLDG STD 2x2 FLU. LIGHT FIXTURE: LUNA #FLU22B-WH TB WW LAMP
F-3	----	METALUX	FLU. UNDER-CABINET LIGHTING CL-132-UNV-SERIES LENGTH PER PLAN; SWITCH WITH OVERHEAD LIGHTS
F-4		LITHONIA	BLDG STD RECESSED, FLU. DOWNLIGHT FIXTURE, 2-13W QUAD LAMPS
F-5		BRUCK	RECESSED DIMMABLE LED, LEDRA G6 (7.2W)
F-6	-----	LITHONIA	48" FLUORESCENT STRIP #132-MV 1-TB WW LAMP
F-7		TECH LIGHTING	LOW-VOLT MINI PENDANT #700-OTO-MP-C-S GLASS: CRYSTAL. FINISH:SN
			EXISTING FLUORESCENT PARABOLIC FIXTURES
			CEILING-MOUNTED PROJECTOR VERIFY EXACT LOCATION WITH TENANT'S A/V VENDOR
			CEILING-MOUNTED PROJECTOR SCREEN. VERIFY EXACT LOCATION & POWER REQTS WITH TENANT'S A/V VENDOR
NO DESIGNATION = EXISTING N = NEW R = RELOCATED			

JPC ARCHITECTS

Greenpoint

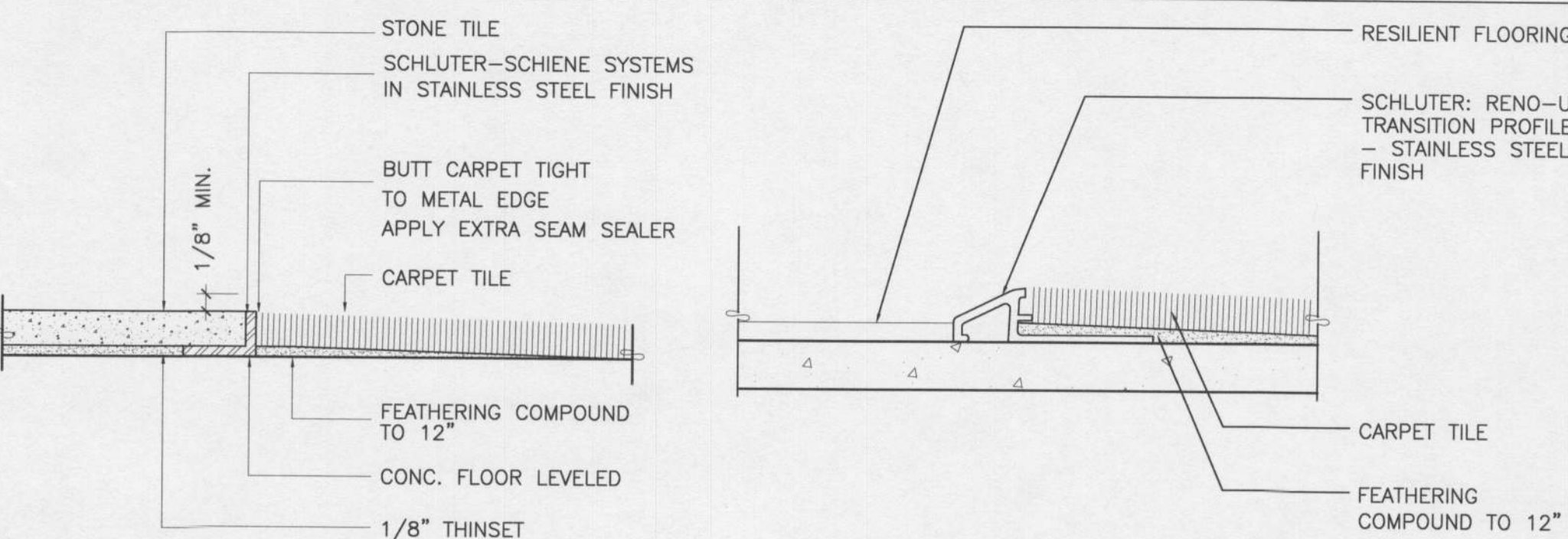
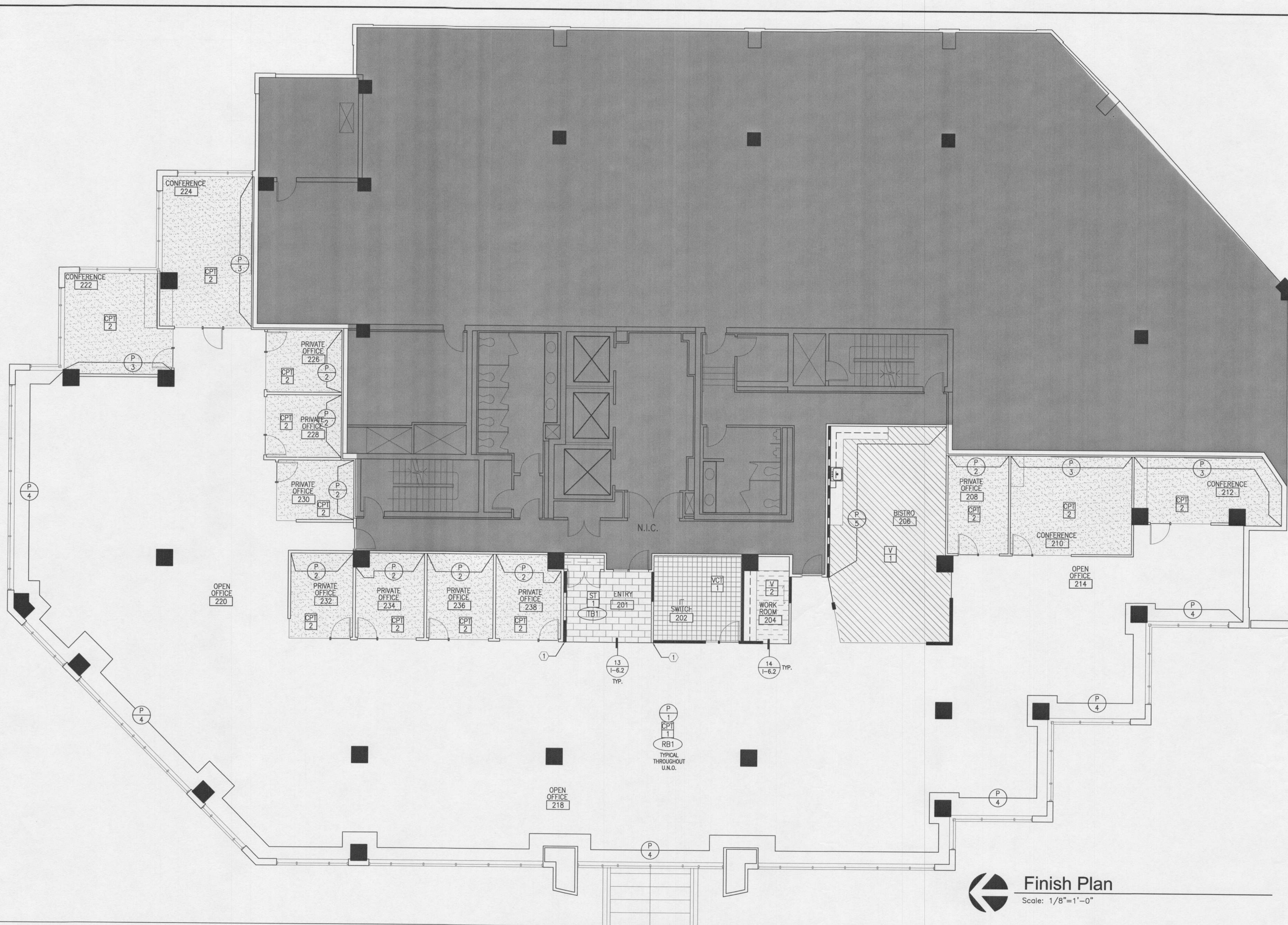
Carillon Point B4000
Floor 2, Suite 4250
4100 Carillon Pt.
Kirkland, WA 98033

DESIGN	JPC
DRAWN	VA/CB
CHECKED	AN
NO.	13-0944



02.21.14 Permit/CD Issu

Reflected Ceiling Plan



13 Tile to Carpet Tile Transition

14 Resilient Floor to Carpet Tile Transition

Finish Plan Key Notes:

- 1 RUBBER BASE TO OVERLAP FACE OF EXPOSED EDGE OF TILE BASE.


Finish Notes:

- | | | | |
|----|---|-----|---|
| 1. | ALL AREAS TO RECEIVE CARPET AND BASE AS SCHEDULED U.N.O. | 9. | ALL INTERIOR PARTITIONS, CEILING FINISHES AND TRIM OF PUBLIC AREAS TO COMPLY WITH CLASS 1 MATERIAL CLASSIFICATION; FLAME SPREAD RATING 0 TO 25, SMOKE DEVELOPED 200. ALL INTERIOR WALL AND CEILING FINISHES AND TRIM OF NON-PUBLIC AREAS TO COMPLY WITH CLASS 2 MATERIAL CLASSIFICATION; FLAME SPREAD RATING 26 TO 75, SMOKE DEVELOPED 450. |
| 2. | ALL AREAS TO RECEIVE RB-1 U.N.O. | 10. | FLOOR COVERINGS OF PUBLIC AREAS TO MEET CLASS A INTERIOR FLOOR FINISH REQUIREMENTS; CRITICAL RADIANT FLUX OF 0.45 WATTS PER SQUARE CENTIMETER OR HIGHER, FLOOR COVERINGS OF NON-PUBLIC AREAS TO MEET CLASS B INTERIOR FLOOR FINISH REQUIREMENTS; CRITICAL RADIANT FLUX BETWEEN 0.22 WATTS PER SQUARE CENTIMETER AND 0.44 WATTS PER SQUARE CENTIMETER. |
| 3. | ALL WALLS & PARTITIONS TO RECEIVE P-1 U.N.O. | 11. | CARPET INSTALLATION TO MEET THE GUIDELINES OF THE CARPET AND RUG INSTITUTE-CRI CARPET INSTALLATION STANDARD-CURRENT EDITION. |
| 4. | PREP ALL EXISTING FLOOR SURFACES TO RECEIVE NEW FINISHES AS SCHEDULED. | | |
| 5. | PROVIDE PAINT APPLICATION APPROPRIATE TO THE SUBSTRATE TO WHICH IT IS TO BE APPLIED. | | |
| 6. | ALL EXPOSED GYP. BD. SURFACES, BOTH EXISTING AND NEW, ARE TO RECEIVE NEW PAINT FINISH. PREP ALL SURFACES AS REQUIRED FOR NEW PAINT FINISH. PROVIDE ONE PRIME COAT PLUS TWO FINISH COATS | | |
| 7. | CHANGES IN FLOOR MATERIALS THAT OCCUR AT FRAMED DOOR OPENINGS SHALL OCCUR AT THE CENTERLINE OF THE DOOR IN THE CLOSED POSITION. | 12. | PROVIDE FINISHED SCRIBE STRIPS AND FINISHED MILLWORK EDGES TO CREATE A FINISHED REVEAL CONDITION WHERE MILLWORK COUNTERS, CABINETS, ETC. "ABUT" ADJACENT PARTITION CONSTRUCTION. ALL EXPOSED REVEAL SURFACES AND EDGES TO HAVE SAME PLASTIC LAMINATE FINISH AS THE CASEWORK ITEM THEY "ABUT". |
| 8. | ANY DECORATIONS USED SHALL BE NON-COMBUSTIBLE OR FLAME - RETARDANT TREATED IN AN APPROVED MANNER (CURTAINS, DRAPES, SHADES, HANGINGS, ETC.) | 13. | CONTRACTOR TO CLEAN AND REPAIR ALL EXISTING INTERIOR GLAZING AND INTERIOR RELITE MINI-BLINDS WITHIN THE WORK AREA. |


Finish Specifications

FLOORING


- CPT
 1
 TYPICAL FLOORING, U.N.O.
 MFR: BENTLEY
 STYLE NAME: HOLLYWOOD SEQUEL CARPET TILE
 STYLE NO: 8HQ32
 COLOR NO: CABRINI MANOR #B01504
 SIZE: 24X24 CARPET TILE
 BACKING: NEXTSTEP ATTACHED CUSHION
 INSTALLATION: QUARTER-TURN
 MFR REP.: KIRSTEN NESVIG PARSONS ☎ 206.849.9294
 NOTE: 5-WEEK LEAD TIME

- 
ACCENT CARPET, U.N.O.
MFR: J+J/INVISION
STYLE NAME: TUSSAH MODULAR TILE
STYLE NO: 7944
COLOR NO: 359—CLOVE
BACKING: STANDARD
INSTALLATION: MONOLITHIC
MFR REP.: AARON MOLZHON © 206.552.5058


- VCT
1



VINYL COMPOSITION TILE
MFR: MANNINGTON COMMERCIAL
SERIES: SOLIDPOINT
COLOR NAME: MIDNIGHT
COLOR NO: 311
NOTE: APPLY TOPICAL ANTISTATIC FINISH

- 
 SHEET VINYL
 MFR: ARMSTRONG
 SERIES: STONERUN
 PATTERN: LITHOS STONE #34336
 COLOR NAME: LITHOS BOJITE


- 
 SHEET VINYL
 MFR: ARMSTRONG
 SERIES: AMBIGU
 PATTERN: ALCHEMY #38063
 COLOR NAME: GINGER

- 
 STONE TILE
 MFR: THOMPSON TILE
 TYPE: LIMESTONE
 COLOR NAME: GASCOGNE BLUE #GM-GAS-BLU-1224-HN
 SIZE: 12X24
 INSTALLATION: BRICK
 NOTE: APPLY CUSTOM BUILDING PRODUCTS AQUA MIX
 PENETRATING SEALER, PER MFR RECOMMENDATIONS
 GROUT: CUSTOM FUSION PRO #PP3861-2T
 #386-OYSTER GRAY
 BASE CONTACT: JULIE KIELAN # 360.348.0025


- RB1 TYPICAL BASE, U.N.O.
MFR: JOHNSONITE
PRODUCT: 4"H COVERED BASE - ROLLED GOODS
COLOR NAME: BURNT UMBER
COLOR NO: 63


- | | | |
|----------|------------------|---|
| TB1 | TILE BASE | |
| | MFR: | THOMPSON TILE |
| | TYPE: | LIMESTONE |
| | COLOR NAME: | GASCOGNE BLUE #GM-GAS-BLU-HN |
| | SIZE: | 4X24 |
| | NOTE: | APPLY CUSTOM BUILDING PRODUCTS AQUA MIX
PENETRATING SEALER, PER MFR RECS |
| | GROUT: | CUSTOM FUSION PRO #FP3861-2T |
| | #386-OYSTER GRAY | |
| CONTACT: | JULIE KIELIAN | 360.348.0025 |


GENERAL WALL PAINT (TYPICAL U.N.O.)


- 
 BENJAMIN MOORE
 COLOR NAME: SWISS COFFEE
 COLOR NO: 0C-45
 SHEEN: EGGSHELL, SEMI-GLOSS @ WET AREAS

ACCENT WALLS

- | | | |
|---|-------------|------------------|
|  | MFR: | SHERWIN WILLIAMS |
| | COLOR NAME: | MEDITERRANEAN |
| | COLOR NO: | SW 7617 |
| | SHEEN: | EGGSHELL |

- 
 MFR: SHERWIN WILLIAMS
 COLOR NAME: LAGOON
 COLOR NO: SW 6480
 SHEEN: EGGSHELL

- 
 MFR: SHERWIN WILLIAMS
 COLOR NAME: PORPOISE
 COLOR NO: SW 7047
 SHEEN: EGGSHELL

- 
 MFR: SHERWIN WILLIAMS
 COLOR NAME: HEARTY ORANGE
 COLOR NO: SW 6622
 SHEEN: EGGSHELL, SEMI-GLOSS @ WET AREAS

CASE WORK

- | | |
|-----|-------------------------------|
| PL1 | PLASTIC LAMINATE |
| | MFR: PIONITE |
| | COLOR NAME: CRESSIDA - SUEDE |
| | COLOR NO: AT371 |
| | LOCATION: CABINETS (VERTICAL) |

- PL2 PLASTIC LAMINATE
MFR: FORMICA
COLOR NAME: NEUTRAL TWILL - MATTE
COLOR NO: 8826-58
LOCATION: CABINETS (VERTICAL)

- PL3 PLASTIC LAMINATE
MFR: WILSONART
COLOR NAME: CASUAL LINEN
COLOR NO: 4944-38
LOCATION: COUNTERS (HORIZONTAL)

- PL4 PLASTIC LAMINATE
MFR: FORMICA
COLOR NAME: EARTHEN TWILL-MATTE
COLOR NO: 8828-58
LOCATION: CABINETS (VERTICAL)

- SS-1 SOLID SURFACE - QUARTZ
MFR: PENTAL
COLOR NAME: ALPINE - POLISHED
COLOR NO: BQ300P
SLAB SIZE: 1-1/4"
LOCATION: COUNTER & FULL-HT BACKSPLASH
AT BISTRO 206

- GLASS FILM
- GLAZING FILM
MFR: 3M
PATTERN NO: #SHZEMOS - OSLO - 50"W ROLL
LOCATION: AT ALL INTERIOR RELIGHT LOCATIONS
1/2" CLEAR REVEAL AT SIDES, CENTERED
HORIZONTALLY ON GLASS PANELS

JPC ARCHITECTS

909 112th Avenue NE Suite 206
Bellevue, WA 98004

Greenpoint

Carillon Point B4000
Floor 2, Suite 4250
4100 Carillon Pt.
Kirkland, WA 98033

DESIGN	JPC
DRAWN	VA/CB
CHECKED	AN
NO.	13-0944



02.21.14 Permit/CD Issue

REVIEWED
MAR 03 2014
CITY OF KIRKLAND
FIRE / BLDG

Finish Plan and Finish Schedule

1-6.2

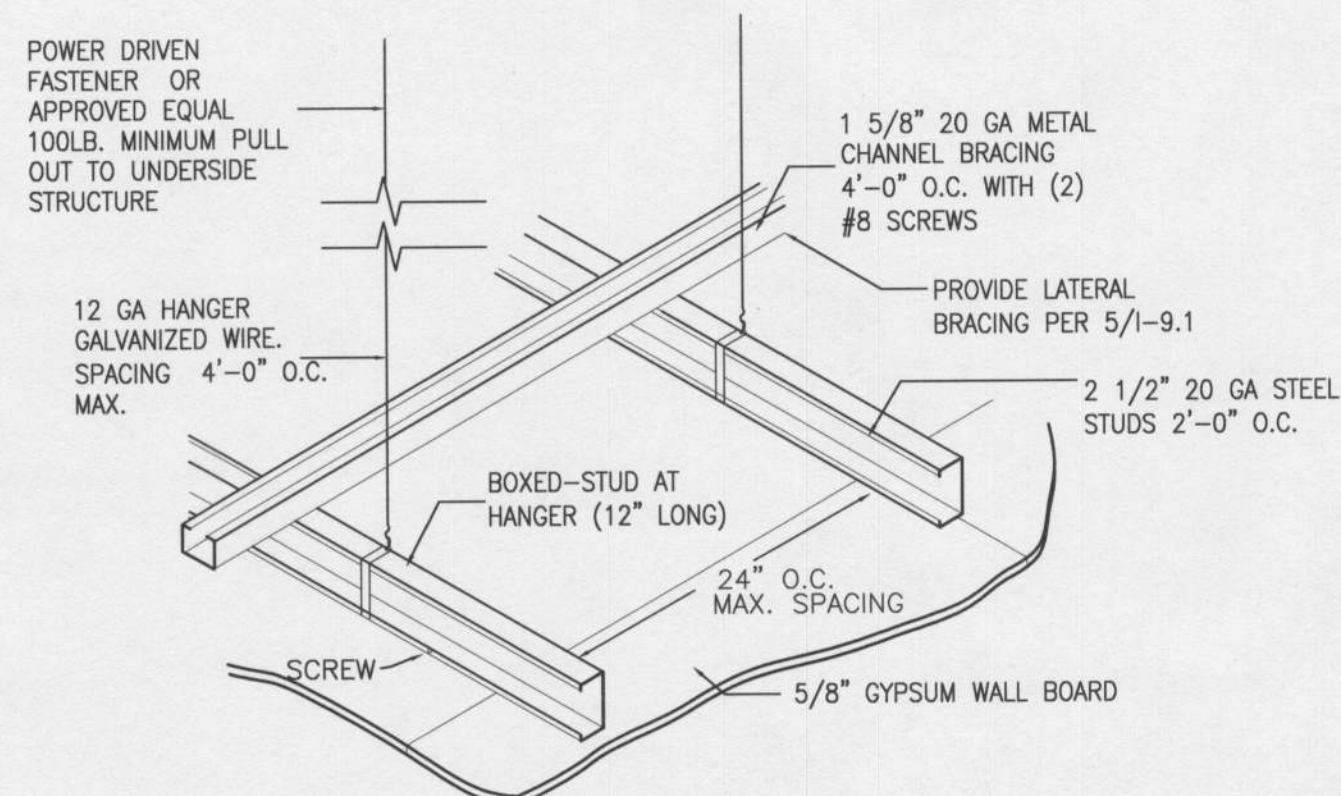
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18 mils STUDS (25 GA)				30 mils STUDS (20 GA -- DRYWALL)				33 mils STUDS (20 GA)			
STUD SIZE	STUD SPACING	LIMITING WALL HEIGHT	COMPOSITE	STUD SIZE	STUD SPACING	LIMITING WALL HEIGHT	COMPOSITE	STUD SIZE	STUD SPACING	LIMITING WALL HEIGHT	COMPOSITE--note 3
162S125 (1-5/8")	12"	7'-8"	8'-10"	162S125 (1-5/8")	12"	9'-3"	9'-11"	162S125 (1-5/8")	12"	9'-6"	10'-4"
	16"	6'-11"	8'-4"		16"	8'-5"	9'-2"		16"	8'-8"	9'-8"
	24"	6'-1"	7'-11"		24"	7'-4"	8'-3"		24"	7'-7"	8'-9"
250S125 (2-1/2")	12"	10'-6"	11'-11"	250S125 (2-1/2")	12"	12'-9"	13'-2"	250S125 (2-1/2")	12"	13'-2"	13'-11"
	16"	9'-7"	11'-3"		16"	11'-7"	12'-1"		16"	12'-0"	12'-10"
	24"	8'-3"	10'-7"		24"	10'-2"	10'-9"		24"	10'-6"	11'-7"
362S125 3-5/8"	12"	14'-0"	15'-4"	362S125 3-5/8"	12"	17'-0"	17'-1"	362S125 3-5/8"	12"	17'-7"	17'-10"
	16"	12'-2"	14'-4"		16"	15'-6"	15'-8"		16"	16'-0"	16'-5"
	24"		13'-5"		24"	13'-6"	14'-0"		24"	14'-0"	14'-9"
400S125 (4")	12"		16'-5"	400S125 (4")	12"	18'-5"	19'-0"	400S125 (4")	12"	19'-0"	19'-11"
	16"		15'-4"		16"	16'-8"	17'-6"		16"	17'-3"	18'-4"
	24"		14'-2"		24"	14'-7"	15'-7"		24"	15'-1"	16'-5"
600S125 (6")	12"		22'-1"	600S125 (6")	12"	25'-2"	25'-6"	600S125 (6")	12"	26'-2"	26'-9"
	16"		19'-9"		16"	22'-11"	23'-2"		16"	23'-9"	24'-6"
	24"		16'-9"		24"	18'-11"	20'-3"		24"	20'-6"	21'-7"

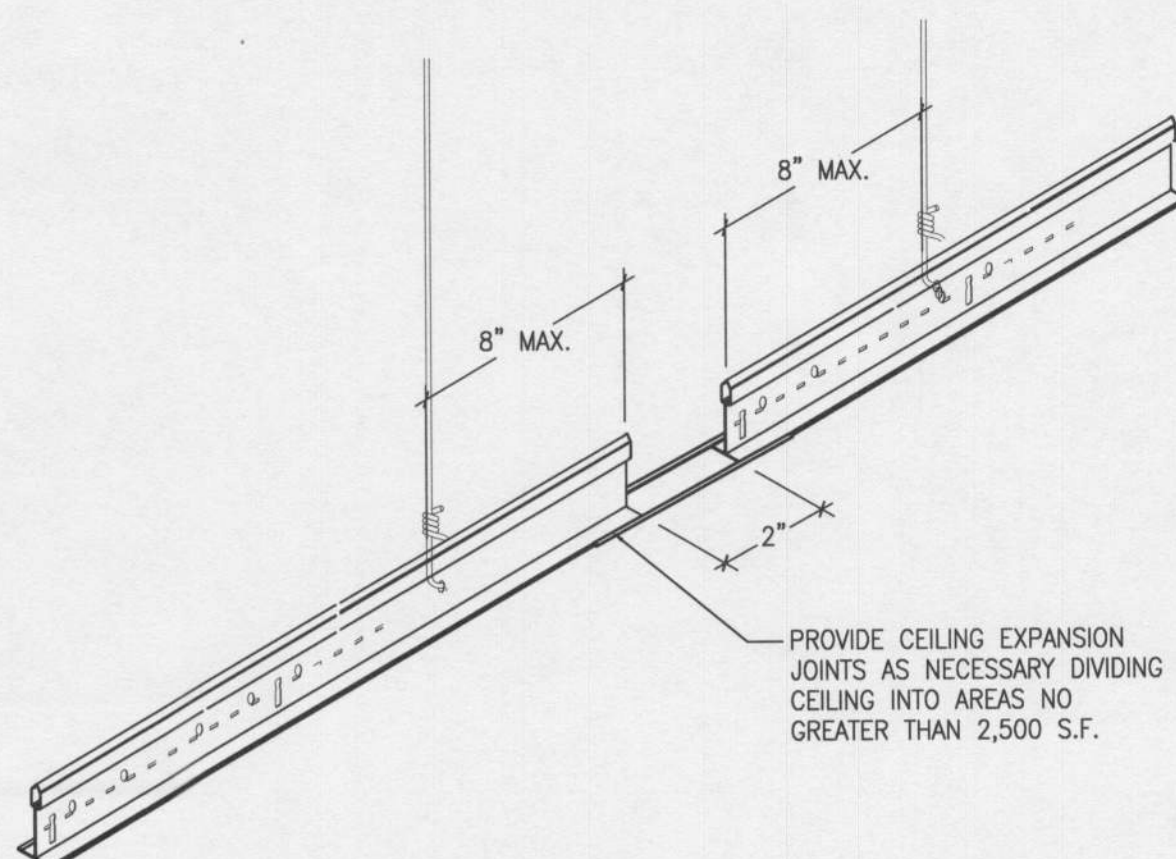
1 Non-Bearing Non-Structural Limiting Wall Height Tables

NOTE: SEISMIC POD REQUIRED @ 8'-0" OC IN EACH DIRECTION IN GYPSUM SHEATHED CEILING [(1) LAYER]. LOCATE 48" FROM END OF JOISTS.

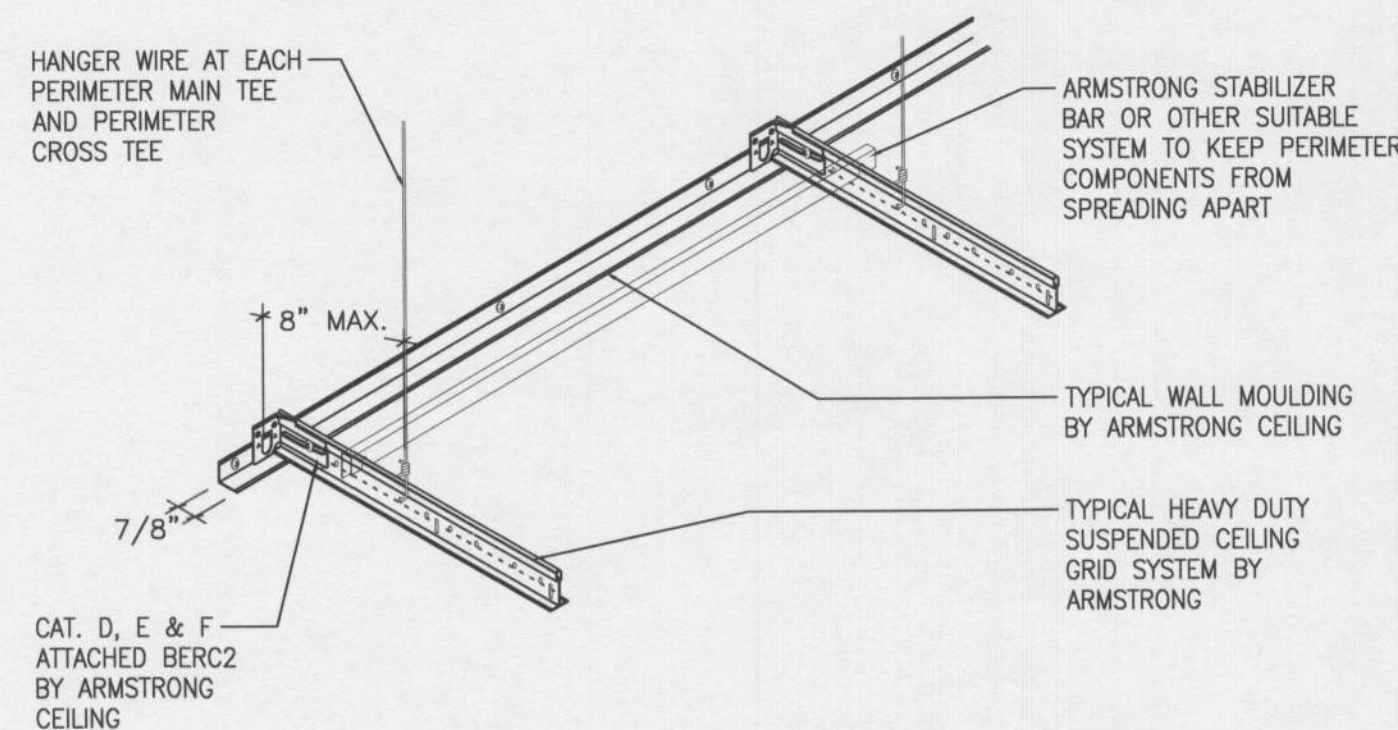
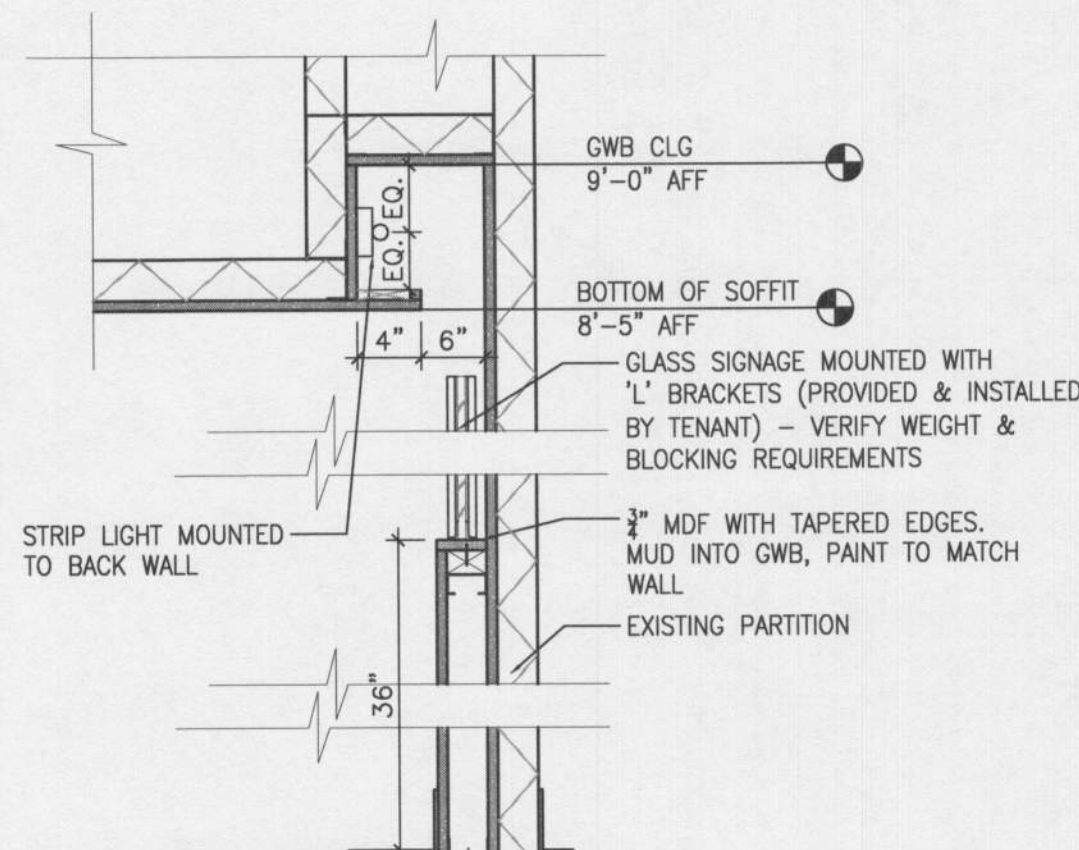
5 Typical Gypsum Ceiling Framing



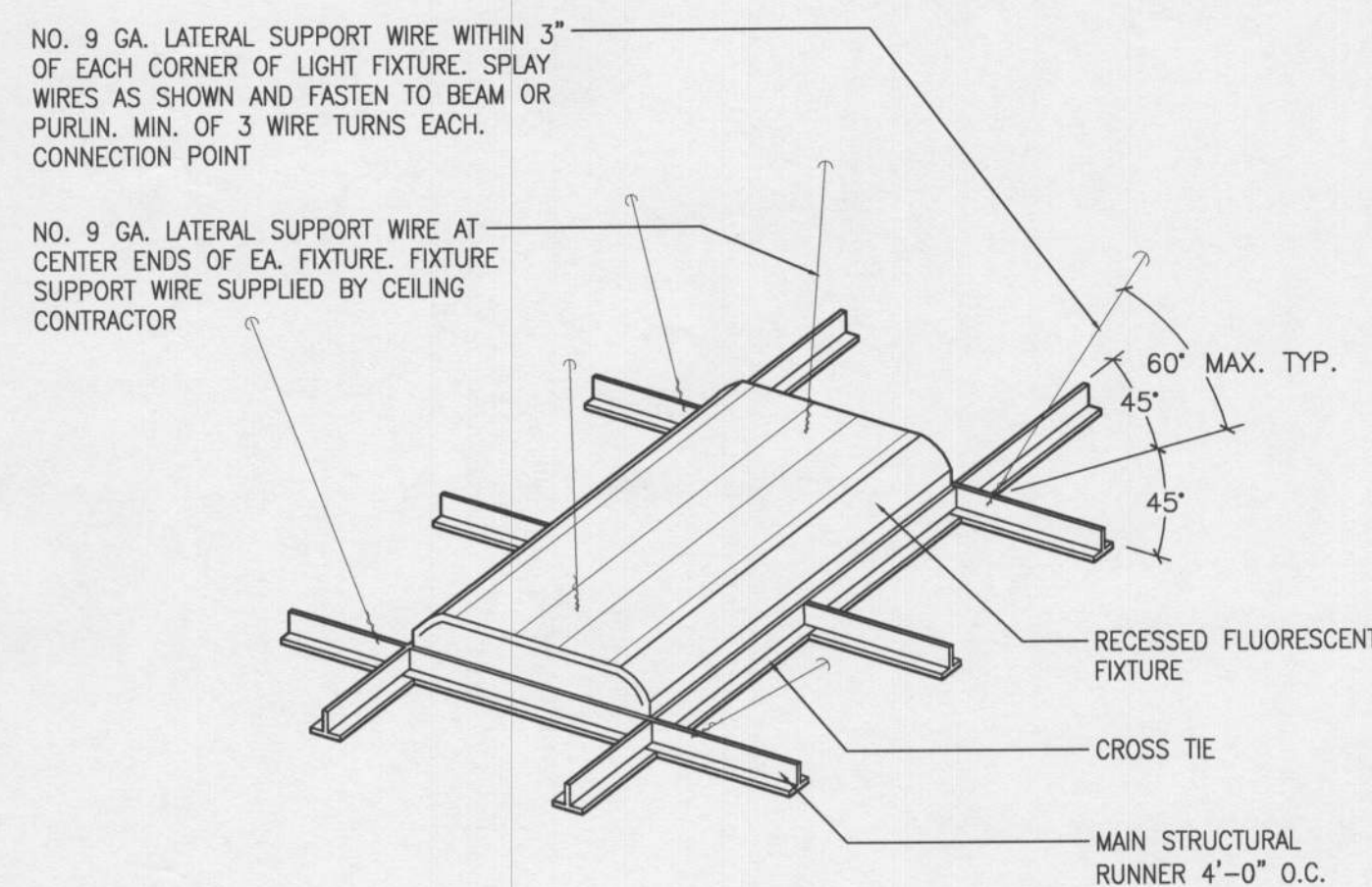
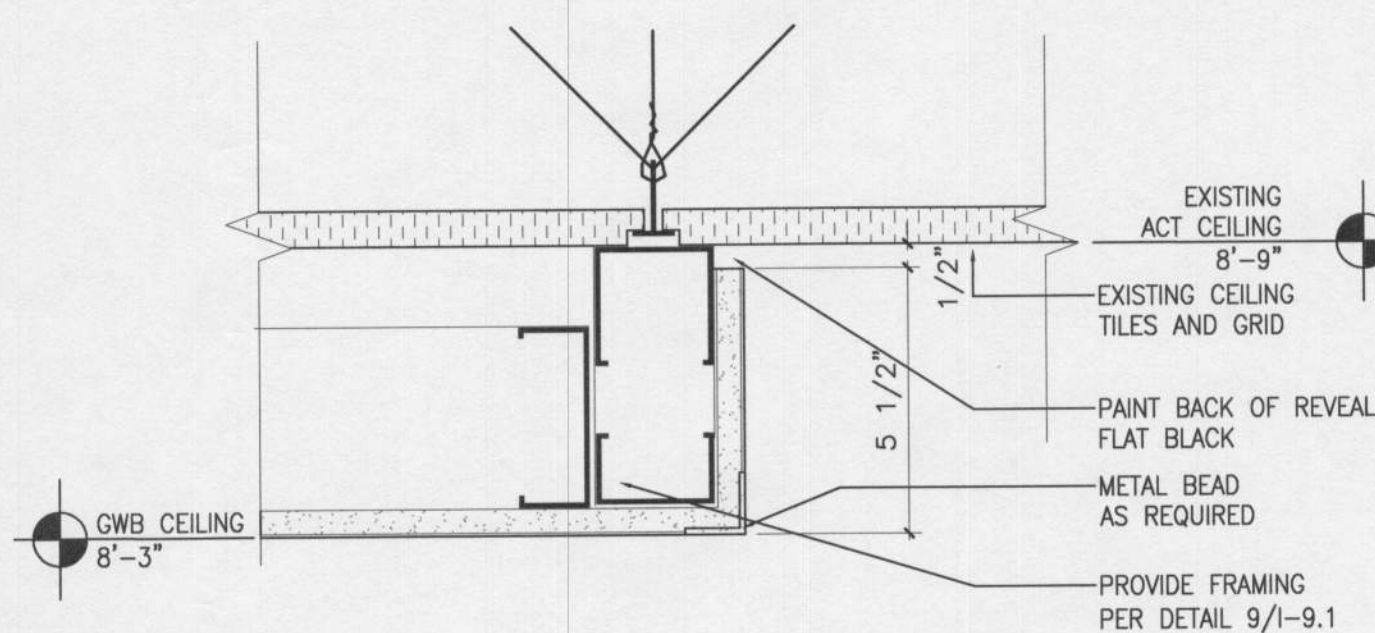
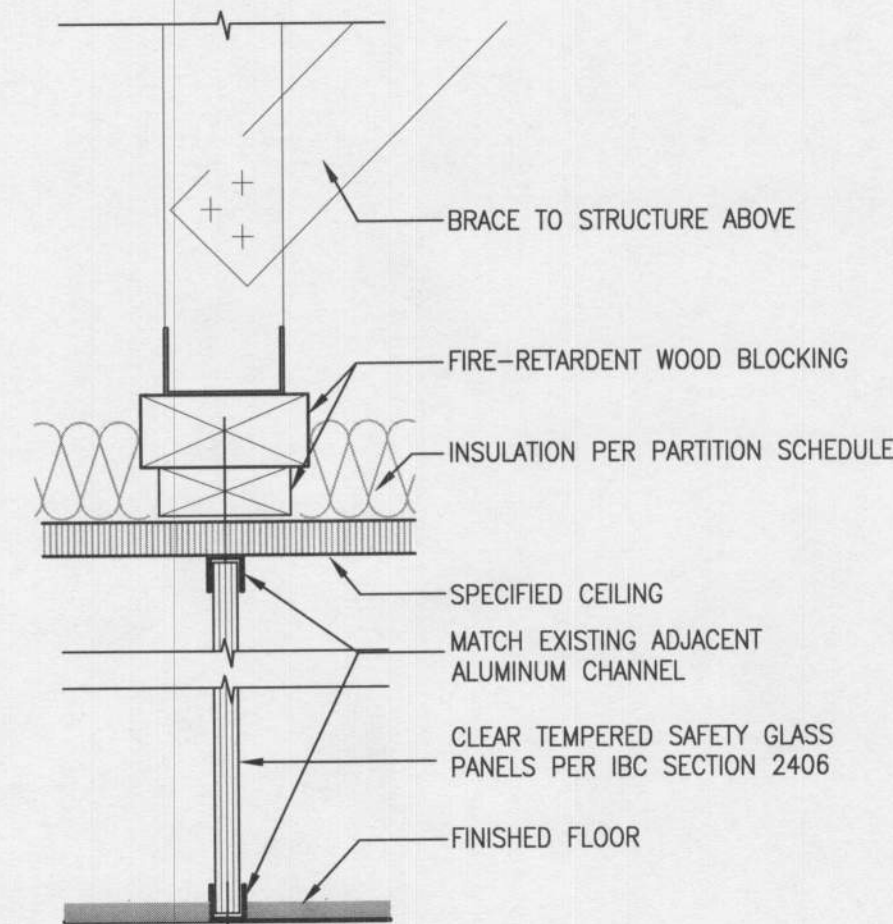
9) GWB Ceiling Diagram



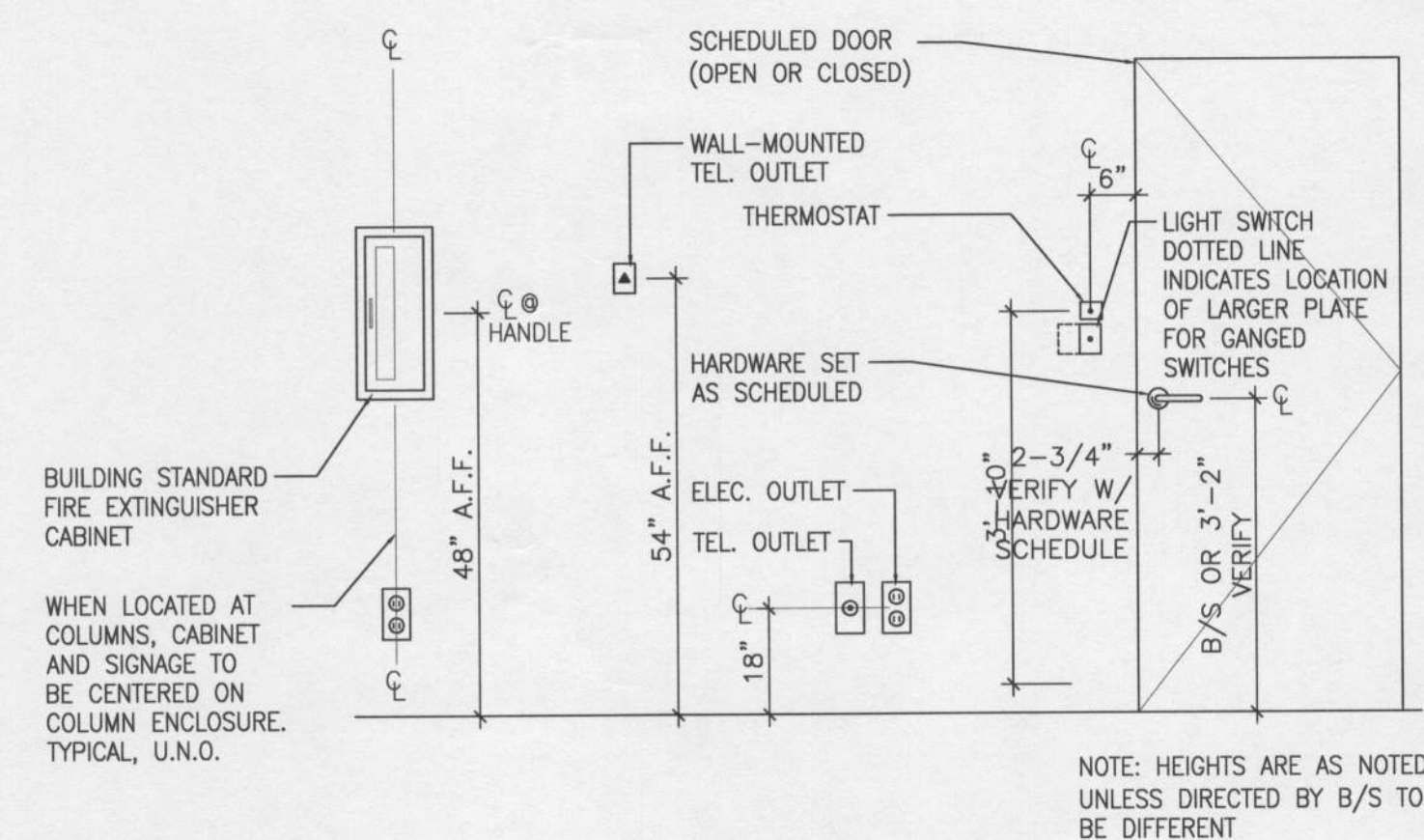
6 Butt Glazing Detail



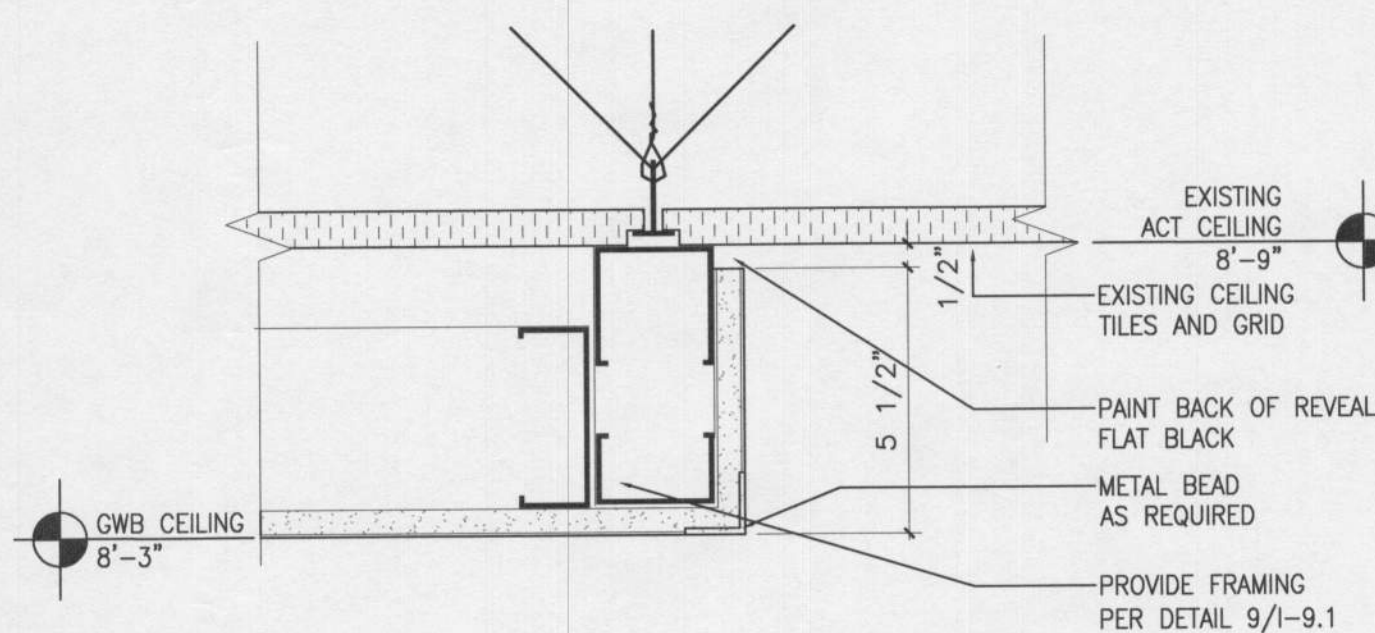
3 Grid Ht. Partition



4 Partition Bracing Detail



8 Typical Mounting Heights



NOTES:

16 Ceiling Bracing Diagram

Greenpoint

Carillon Point B4000
Floor 2, Suite 4250
4100 Carillon Pt.
Kirkland, WA 98033

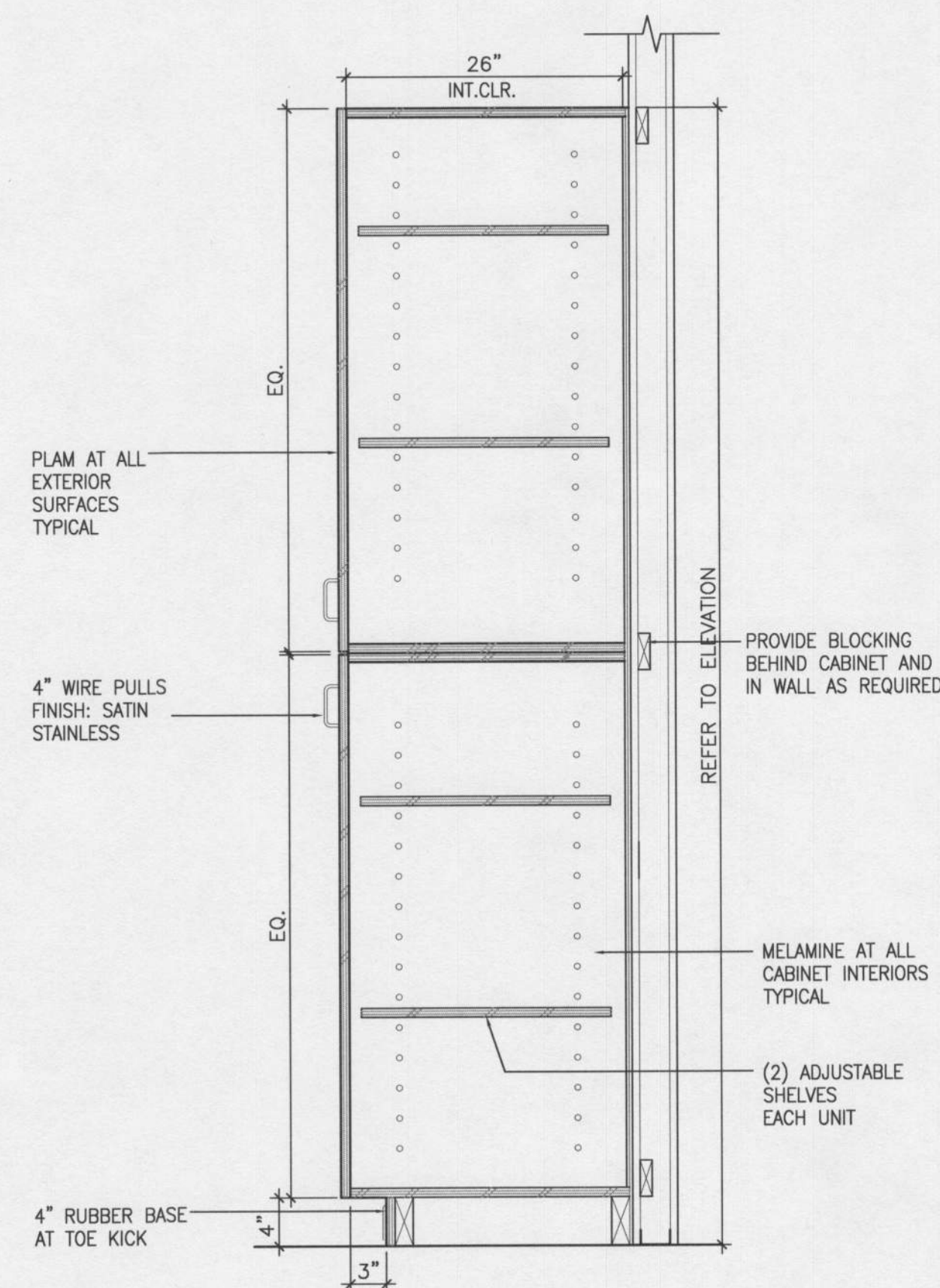
6283 REGISTERED ARCHITECT
Charlotte Patterson
STATE OF WASHINGTON

02.21.14 Permit/CD Issue

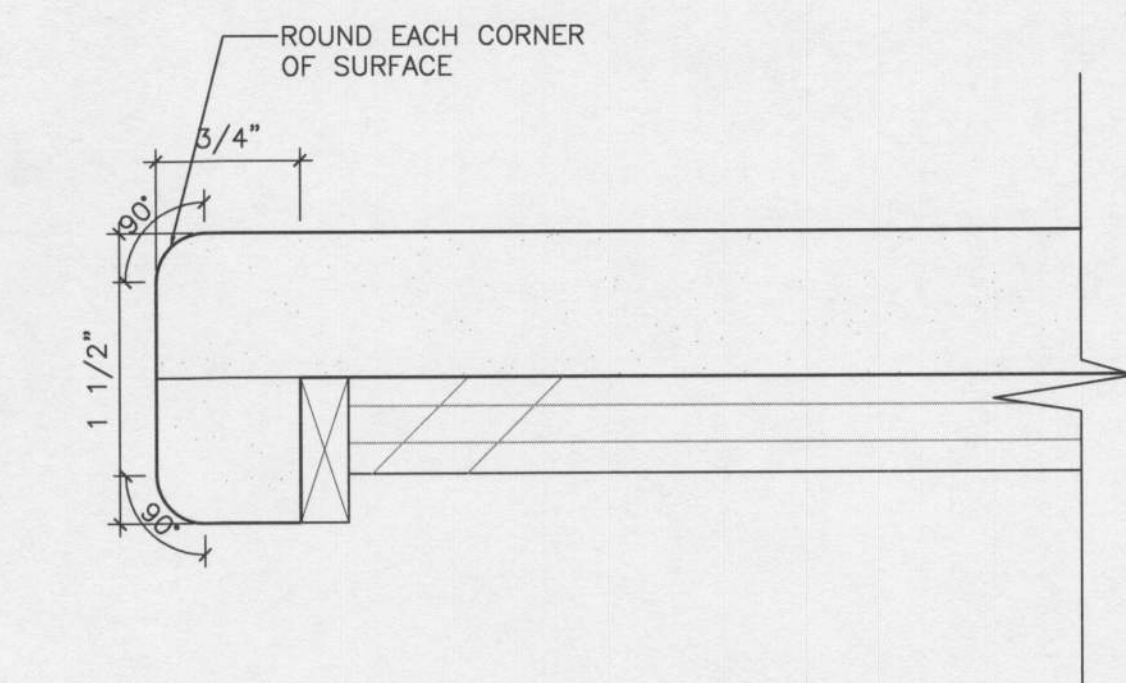
Construction Details

1-9.1

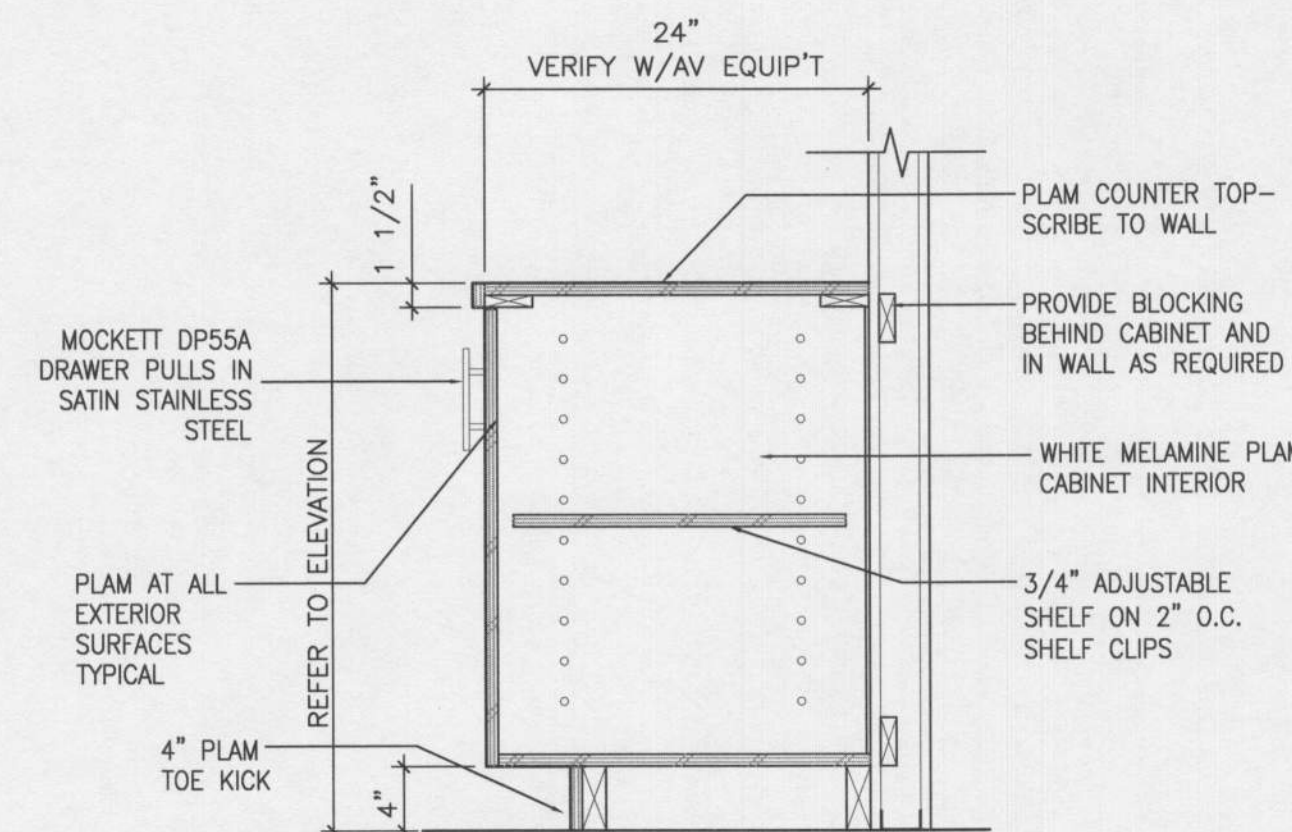
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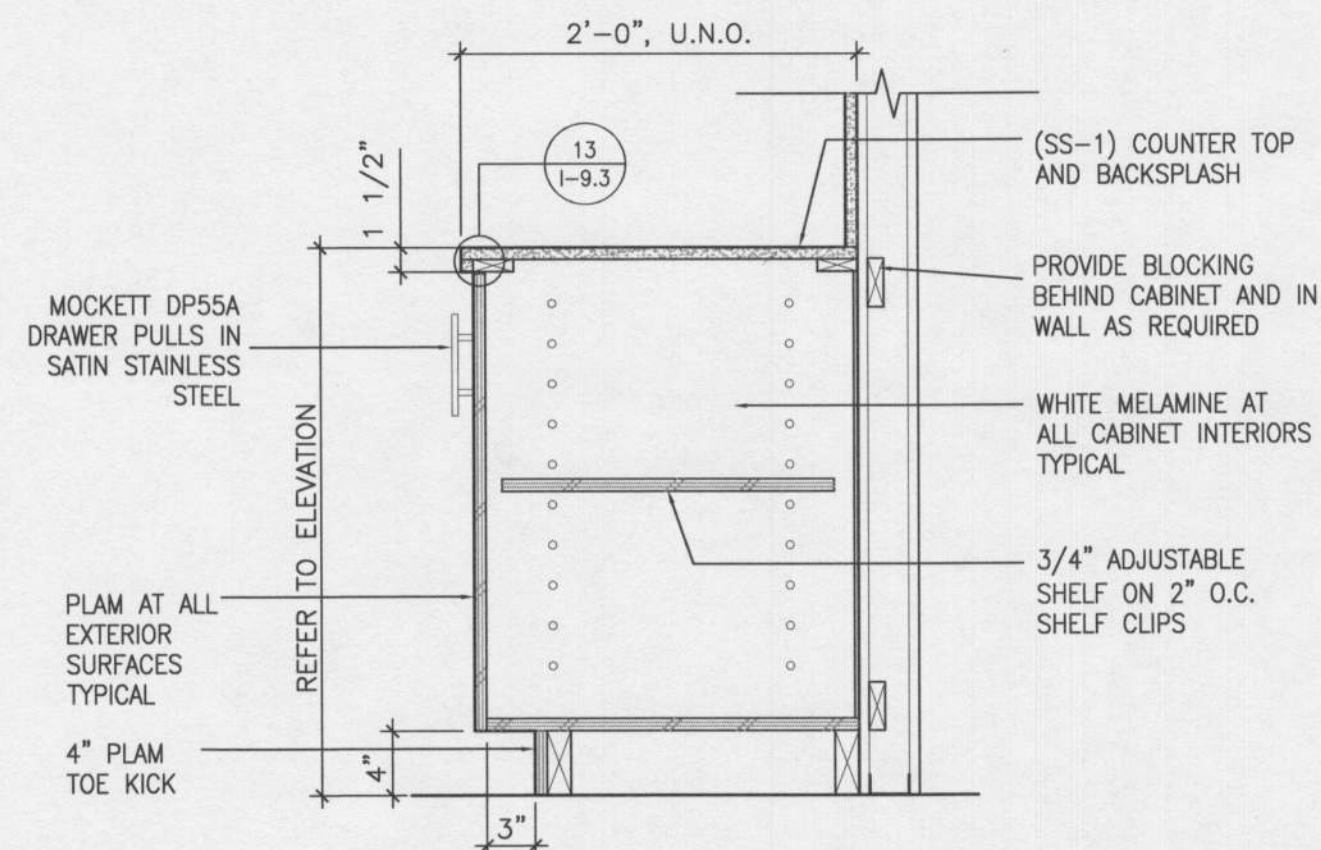
9 Pantry-Style Cabinet @ Work Room #204
Scale: 1"=1'-0"



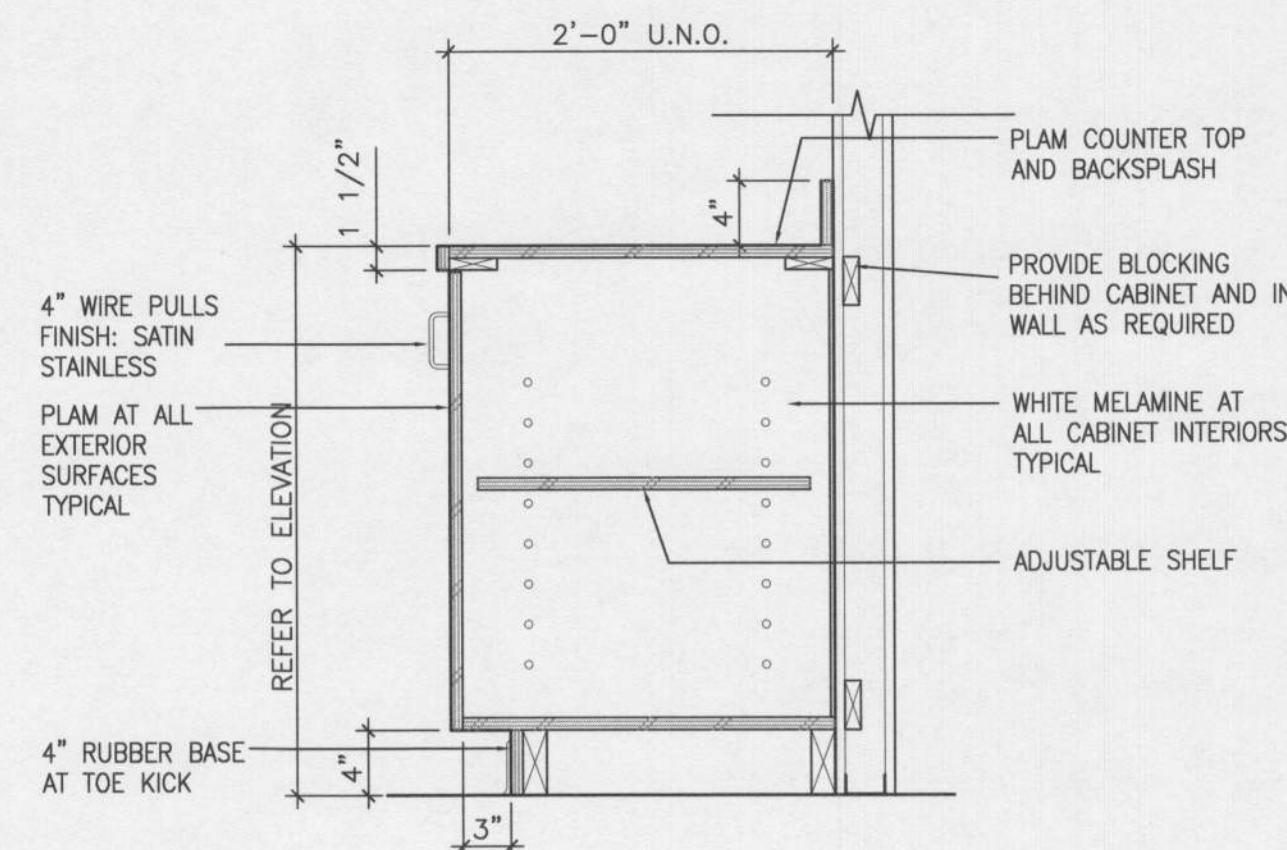
13 Quartz Surfacing Edge Detail
Scale: 1"=1'-0"



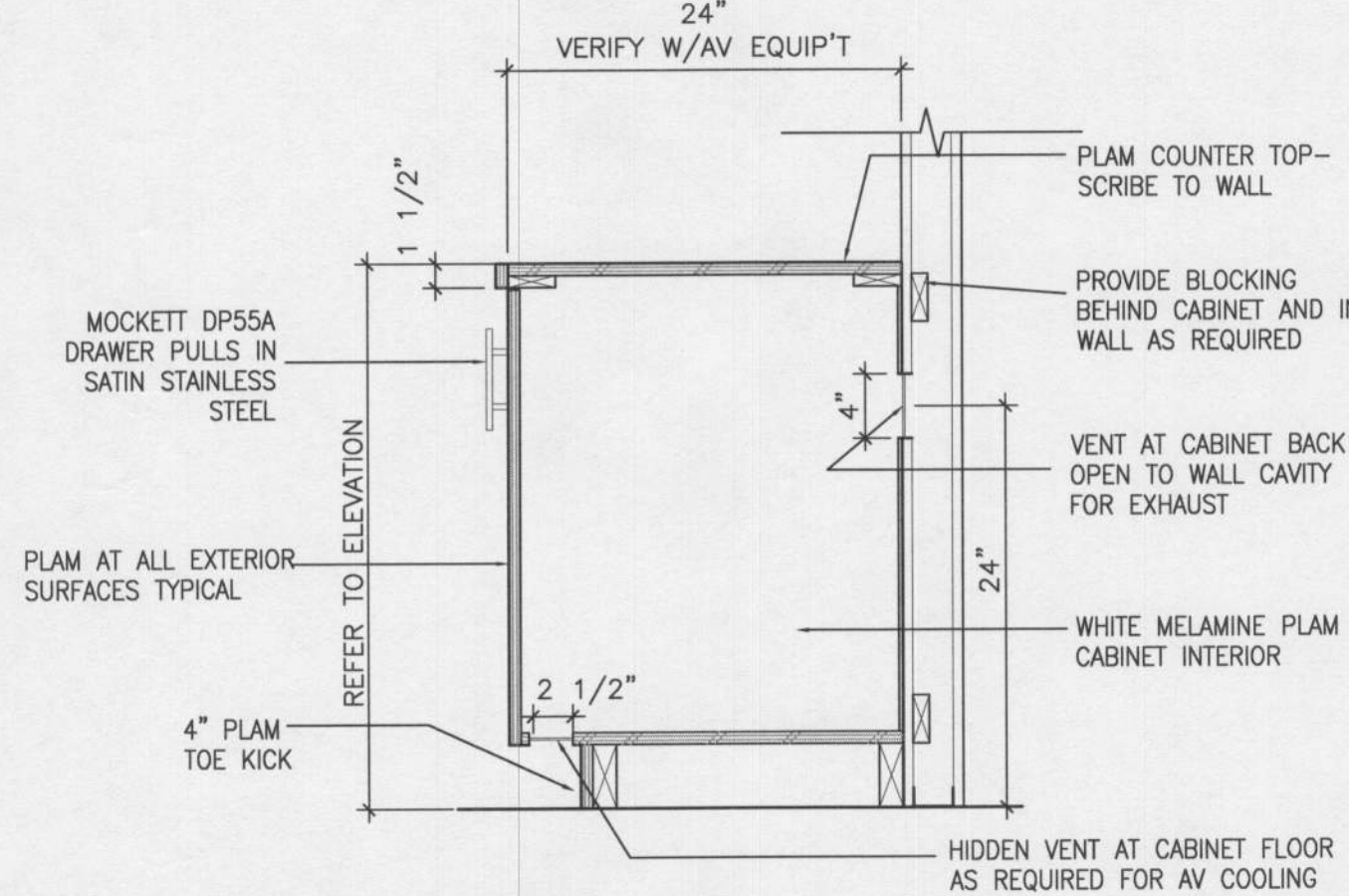
6 Base Cabinet @ Conf. Rooms
Scale: 1"=1'-0"



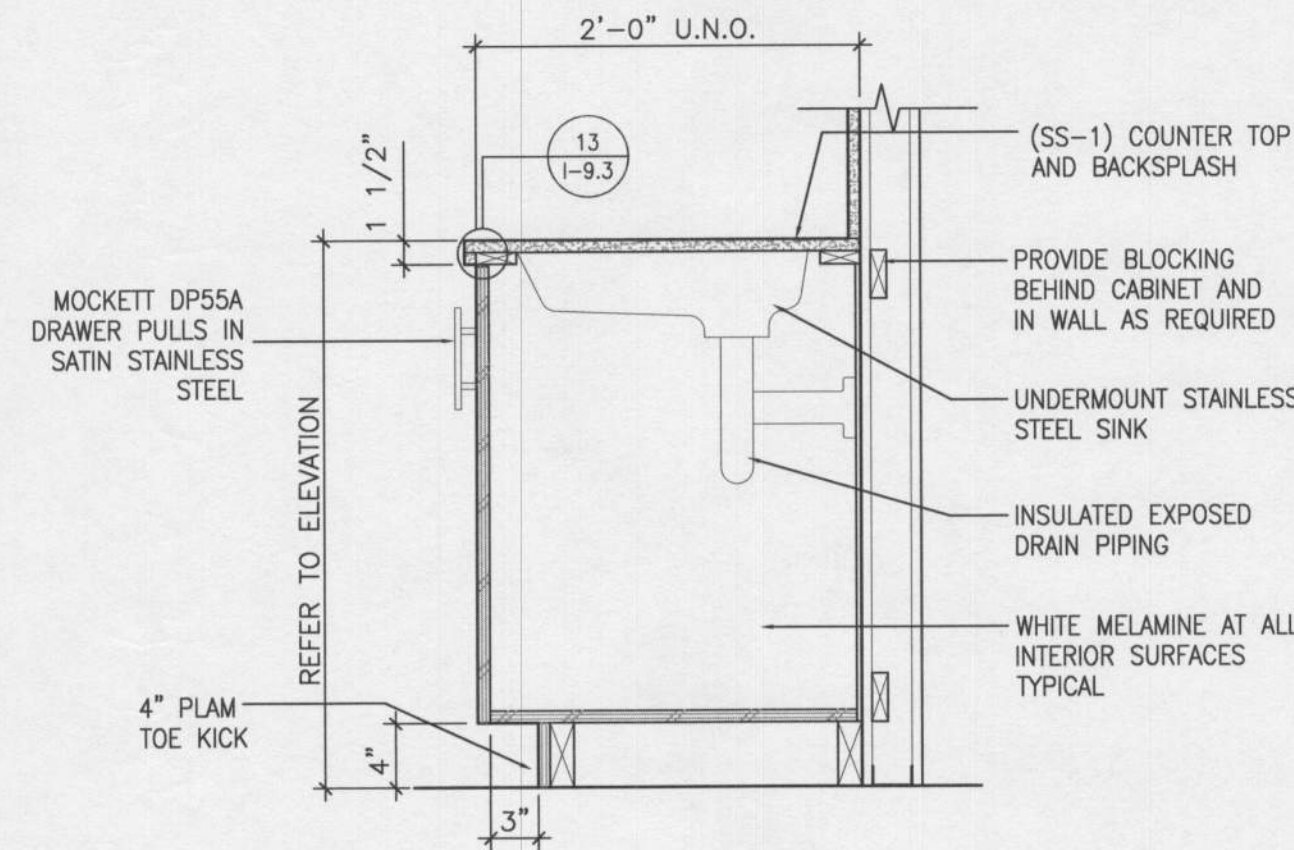
10 Base Cabinet @ Bistro #206
Scale: 1"=1'-0"



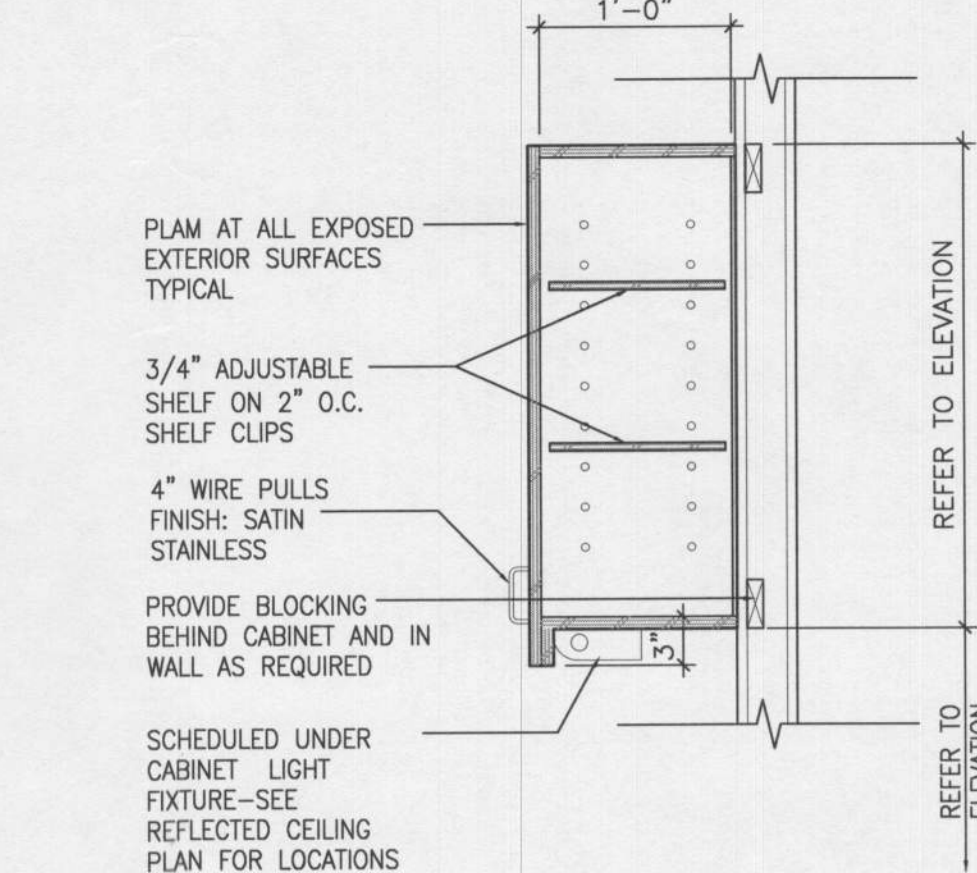
14 Base Cabinet
Scale: 1"=1'-0"



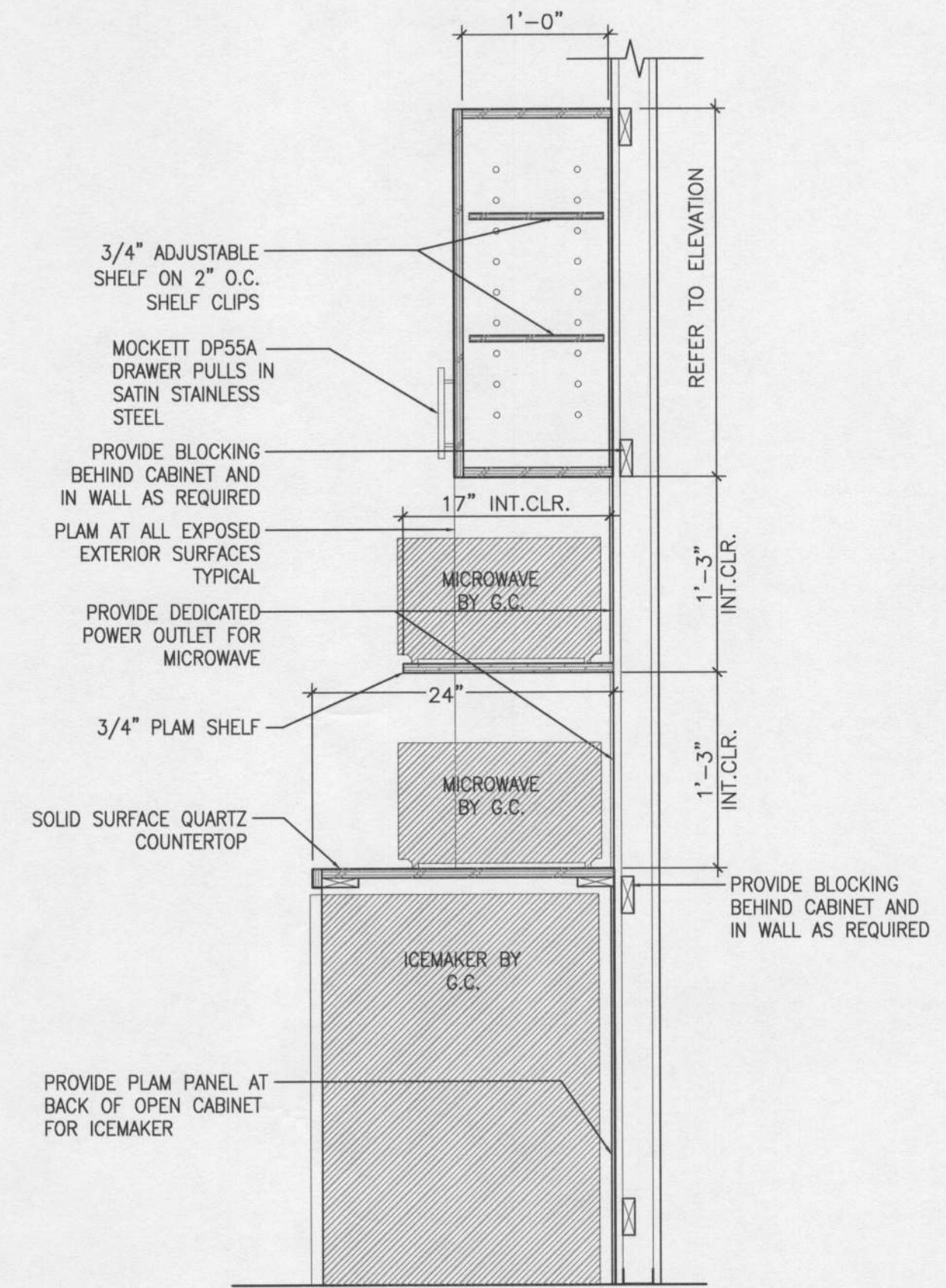
7 A/V Base Cabinet @ Conf. Rooms
Scale: 1"=1'-0"



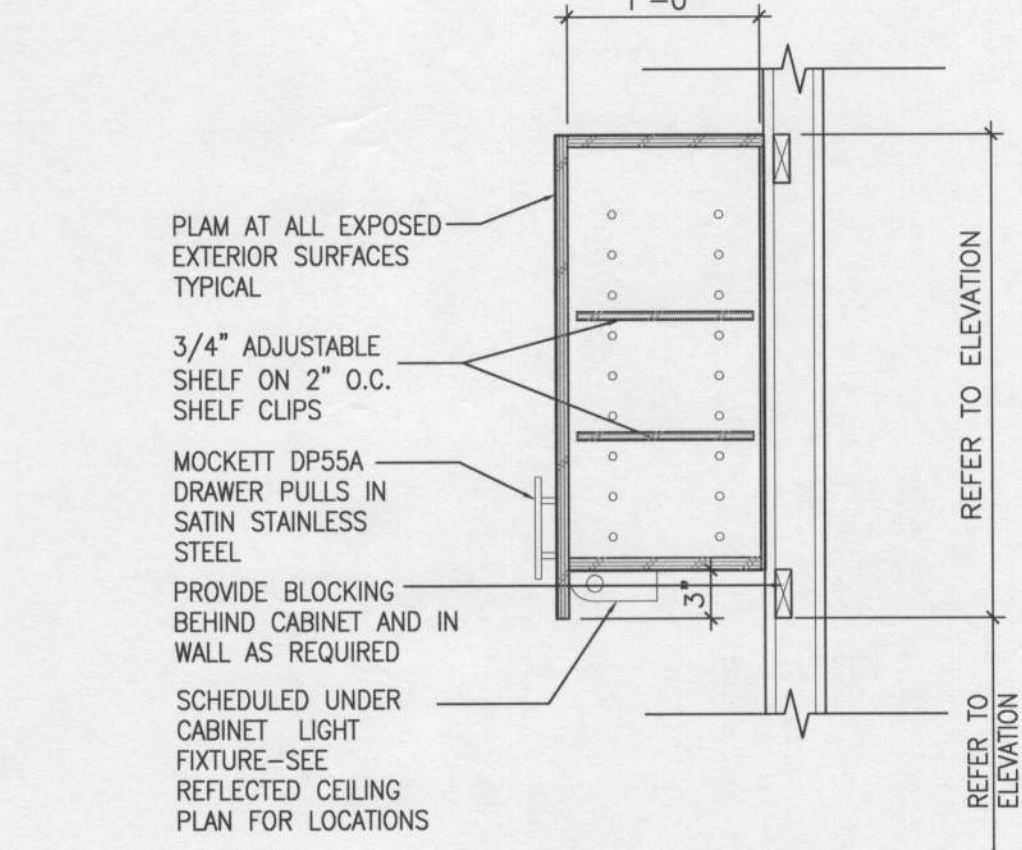
11 Base Cabinet with Sink @ Bistro #206
Scale: 1"=1'-0"



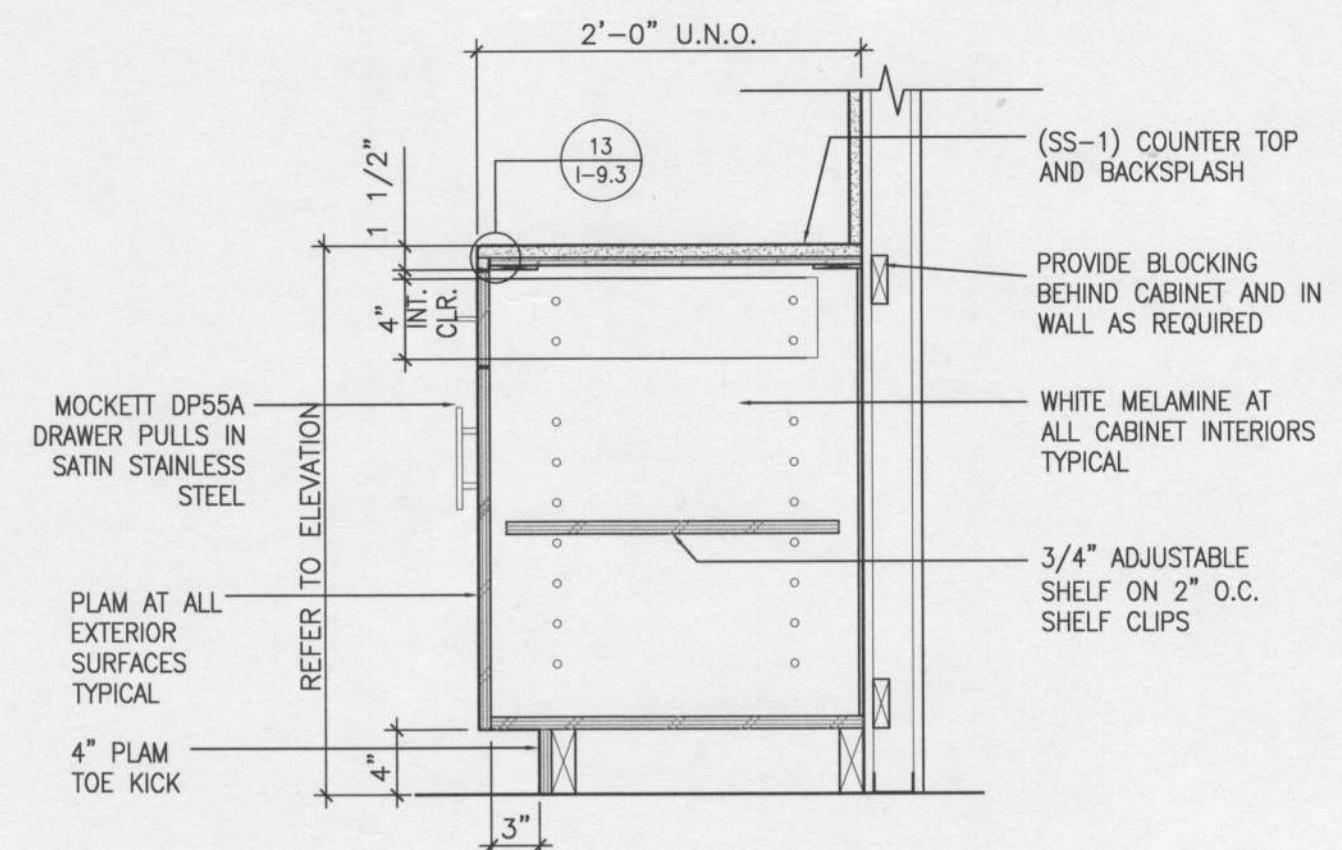
15 Upper Cabinet with U.C. Lighting @ Work Room #204
Scale: 1"=1'-0"



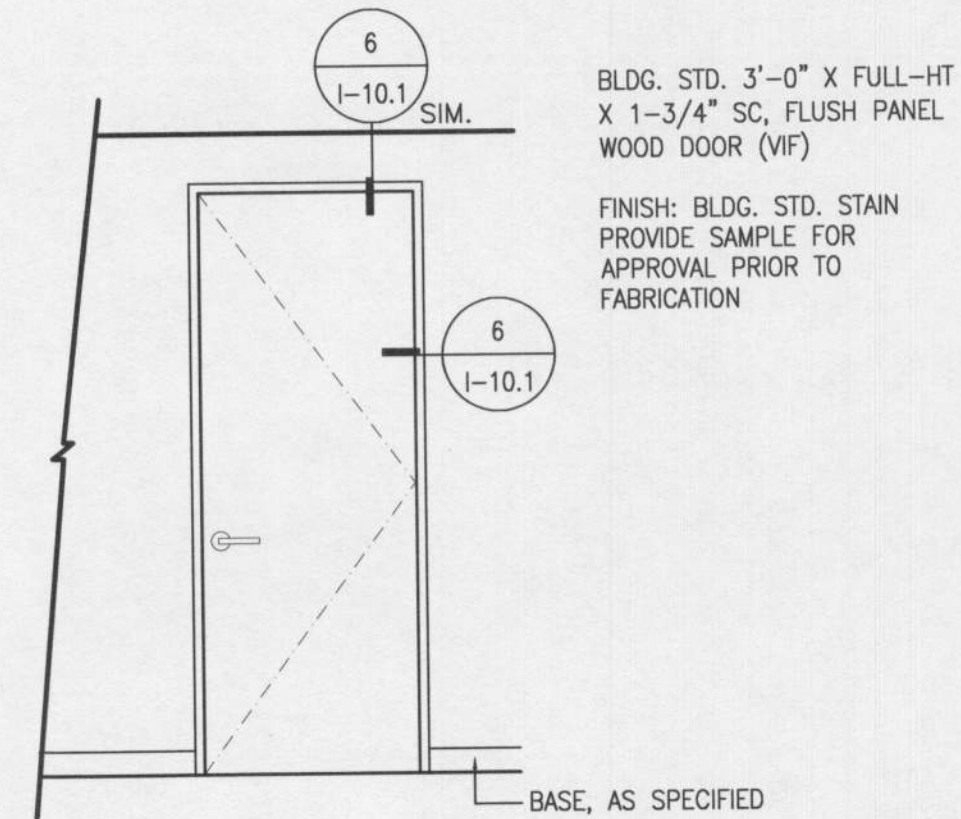
8 Microwave/Icemaker Cabinet @ Bistro #206
Scale: 1"=1'-0"



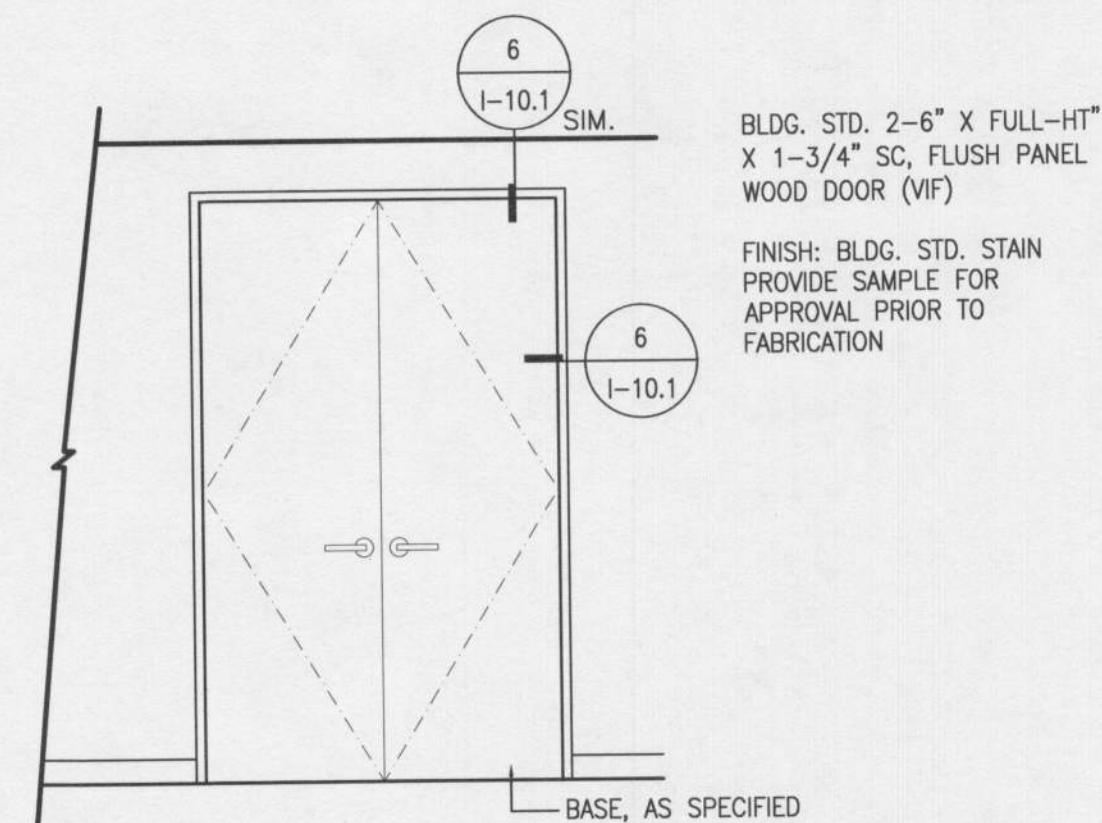
12 Upper Cabinet with U.C. Lighting @ Bistro #206
Scale: 1"=1'-0"



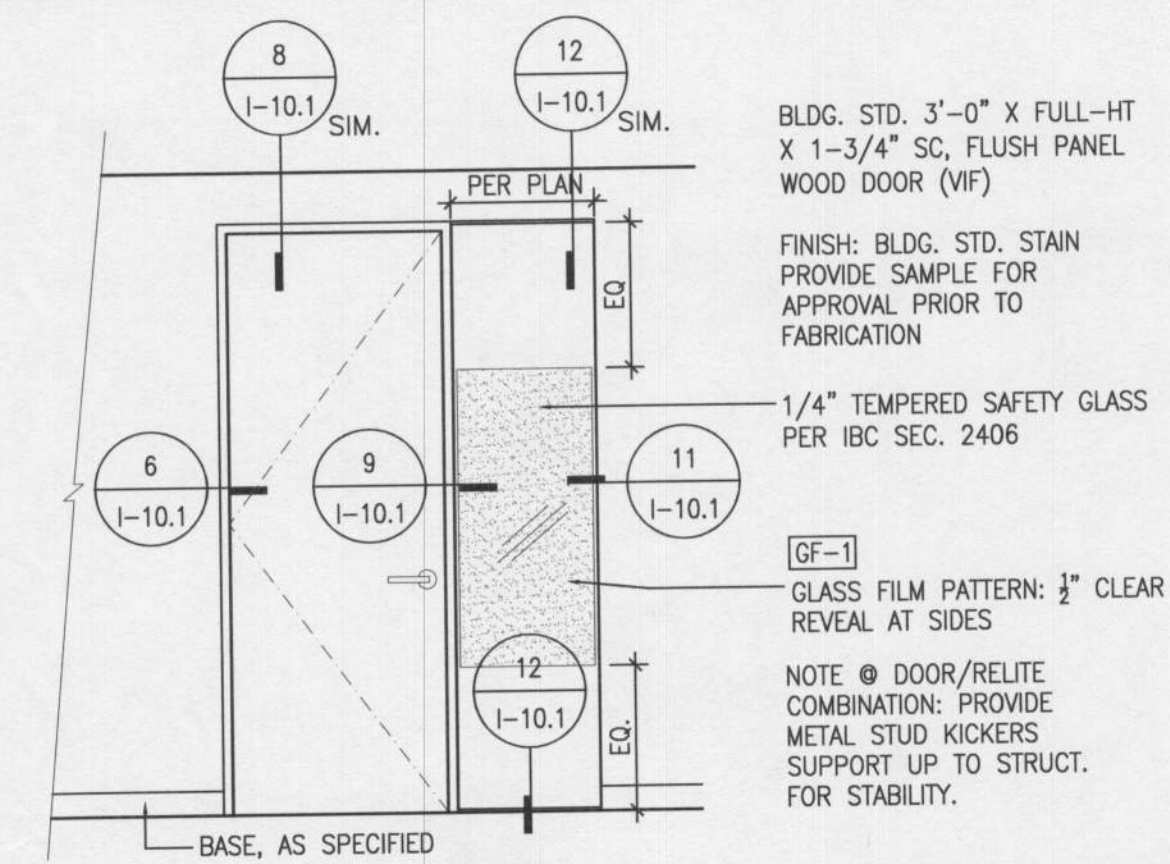
16 Base Cabinet with Drawer @ Bistro #206
Scale: 1"=1'-0"



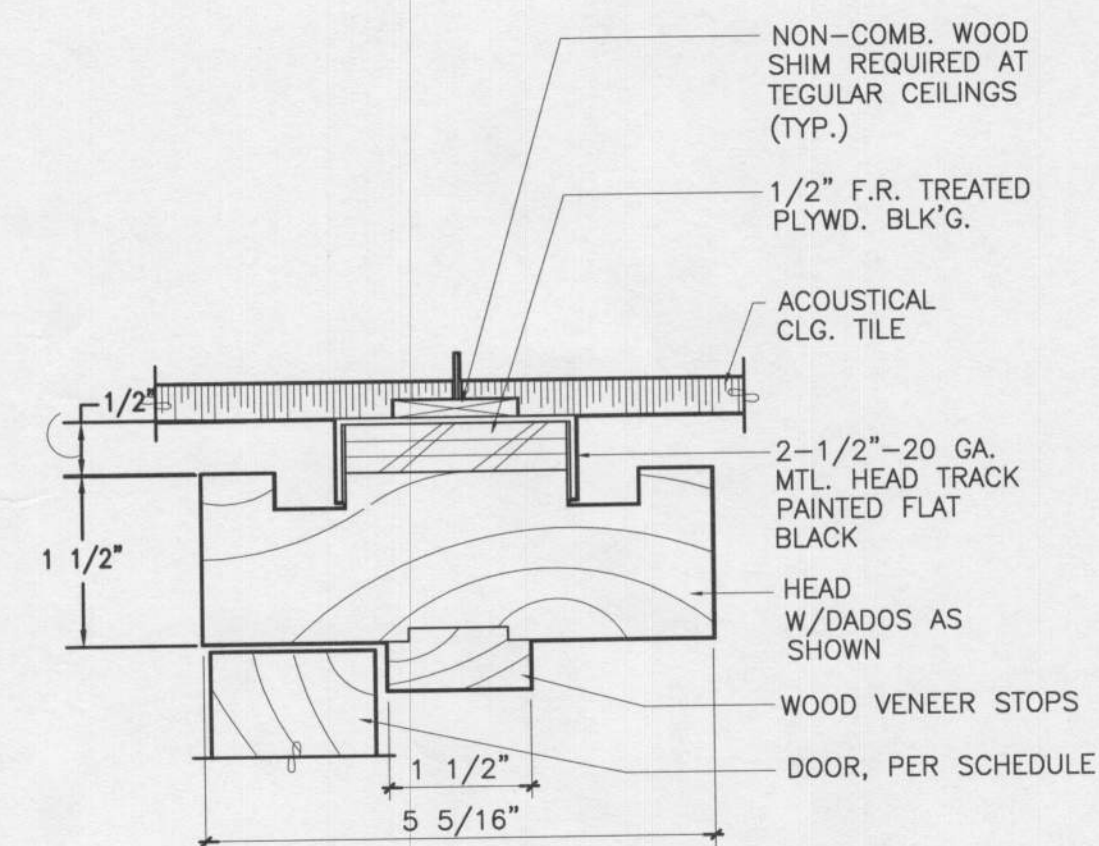
2 Door Type A
Scale: 3/8"=1'-0"



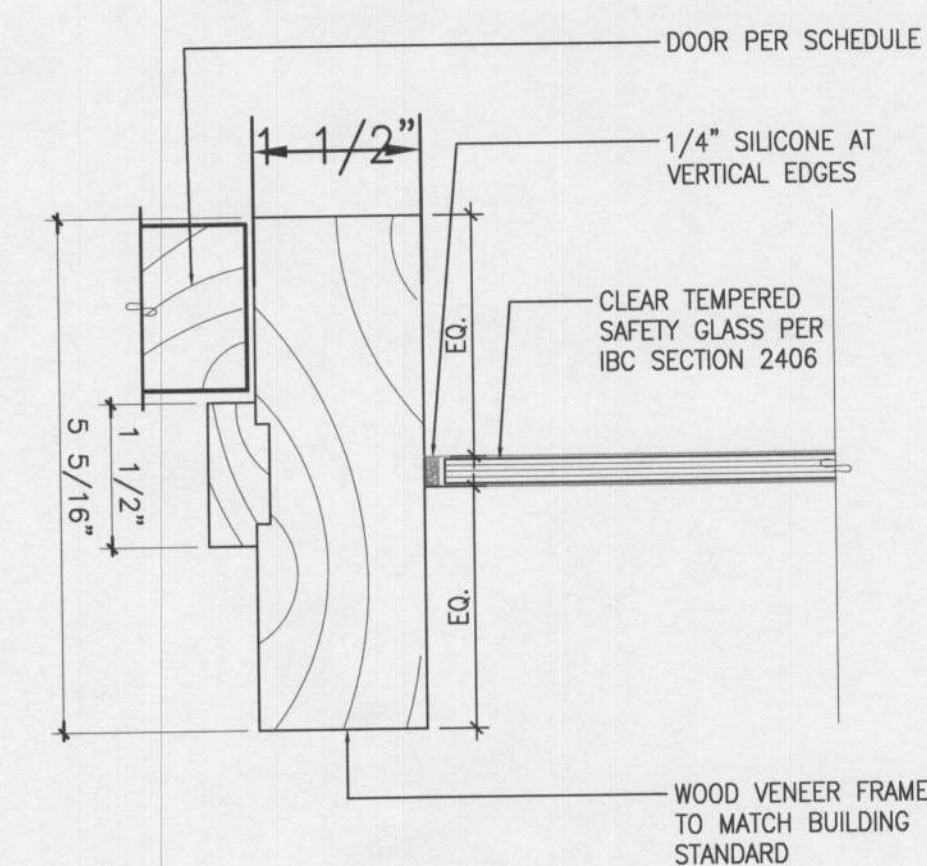
5 Door Type C
Scale: 3/8"=1'-0"



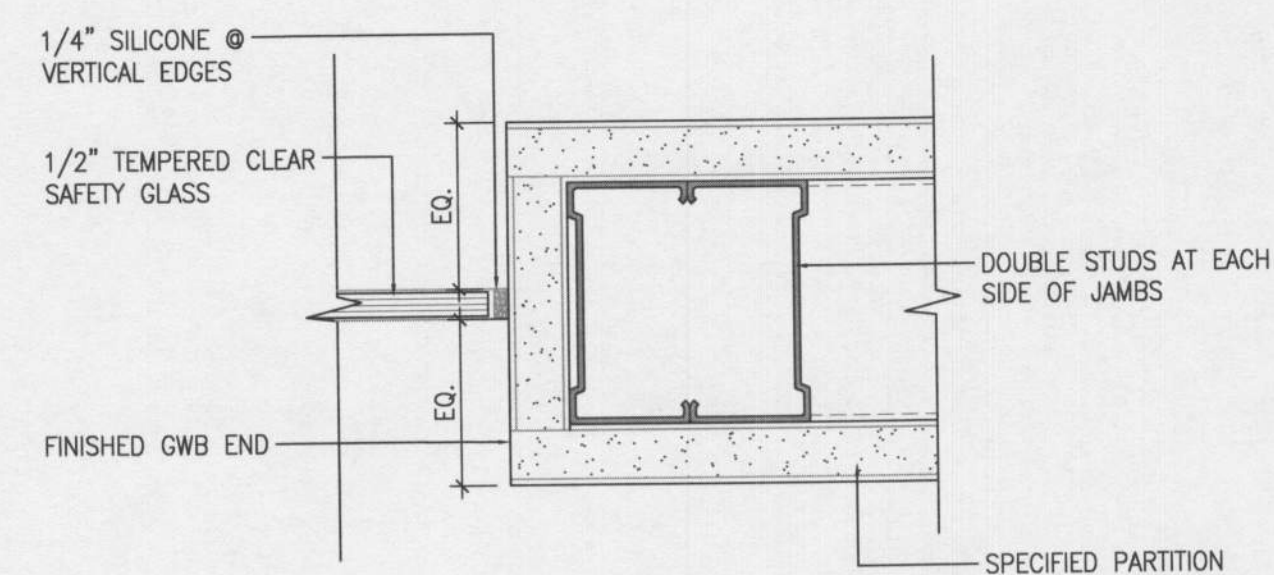
3 Door Type B
Scale: 3/8"=1'-0"



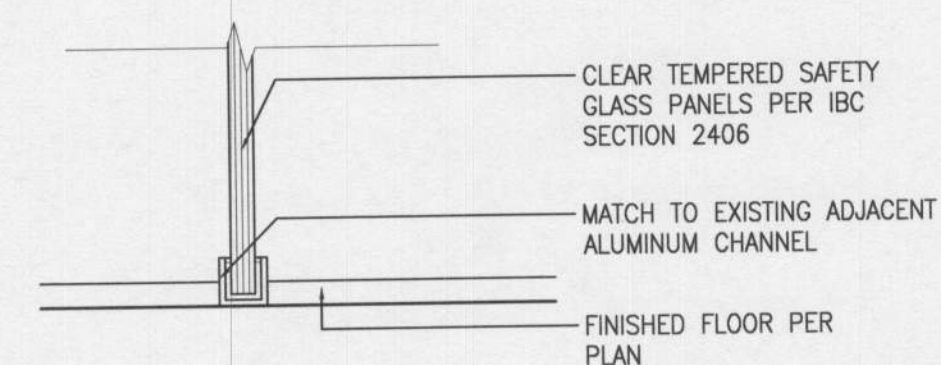
6 Door Head (Jamb Similar)
Scale: 6"=1'-0"



9 Door/Relite Jamb
Scale: 6"=1'-0"



11 Relite Jamb
Scale: 6"=1'-0"



12 Glazing Sill (Head Similar)
Scale: 6"=1'-0"

Hardware Sets:

HS-1 SINGLE NON-RATED DOOR WITH CARD READER

QTY 2 PAIR - BUTT HINGES
QTY 1 - LEVER LOCKSET
QTY 1 - SURFACE MTD. CLOSER
QTY 1 - ELECTRIC STRIKE
QTY 1 - BLDG STD. DOOR STOP
QTY 1 SET - SILENCERS

Door Schedule:

NO.	TYPE	FRAME	HDWE	RATING	REMARKS	REVISION
201	EXISTING	EXISTING	EXISTING			
202	C	WD	EXISTING			
202	B	WD	HS-1		INSTALL CARD READER DEVICE	
208	B	WD	EXISTING			
210	B	WD	EXISTING			
212	B	WD	EXISTING			
214	EXISTING	EXISTING	EXISTING			
222	EXISTING	EXISTING	EXISTING			
222	B	WD	EXISTING			
224	B	WD	EXISTING			
226	B	WD	EXISTING			
228	B	WD	EXISTING			
230	B	WD	EXISTING			
232	B	WD	EXISTING			
234	B	WD	EXISTING			
236	B	WD	EXISTING			
238	B	WD	EXISTING			

JPC ARCHITECTS

909 112th Avenue NE Suite 200
Bellevue, WA 98004

Greenpoint
Carillon Point B4000
Floor 2, Suite 4250
4100 Carillon Pt.
Kirkland, WA 98033

DESIGN	JPC
DRAWN	VA/CB
CHECKED	AN
NO.	13-0944

6283 REGISTERED
ARCHITECT
Charlotte Patterson
STATE OF WASHINGTON

REVIEWED
MAR 02 2014
CITY OF KIRKLAND
FIBR BLDG

02.21.14 Permit/CD Issue

~~Handwritten scribbles and markings.~~

Door Schedule, Elevations & Details

1-10.1

CITY OF KIRKLAND APPROVAL SUBMITTAL	
	Type of Review
Building	Exp. FT. Reg.
Planning	12/26/14 X
Public works	

— NO Change of
— USE

REMOVED

SEE Sheet
1-0.0 For Additional
Permit Requirements
DH 3/3/14

REVIEWED
MAR 03 2014
CITY OF KIRKLAND FIRE / BLDG

FINAL 5-30-14
BUN. DEPT. FILE COPY

CITY OF KIRKLAND BUILDING DEPARTMENT	
PERMIT #	BNR14-01032 PLAN CASE: BNR14-00348
ADDRESS	4000 CARILLON PT
WORK CLASS	INTERIOR ALTERATION
PROJECT	
OWNER	CARILLON PROPERTIES
DT SUBMITTED	02/26/2014 3/3/14
DT APPROVED	
APPROVED BY	

PCD
ADE